



**DUNDAS PLANNING COMMISSION  
Public Hearing and Regular Meeting Agenda  
Monday, August 28, 2023  
6:00 PM City Hall**

1. CALL TO ORDER
  - a. Roll Call
2. PUBLIC FORUM/PRESENTATIONS (non-agenda items)
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES
  - a. Public Hearing and Regular Minutes of April 20, 2023
5. PUBLIC HEARING
  - A. Consider Approving Preliminary Plat and Planned Unit Development Amendment for a Retail Store in the Dundas Commercial Park at 540 and 600 Schilling
    - i. Open Public Hearing at \_\_\_\_\_ p.m.
    - ii. Staff Presentation\*
    - iv. Public Comment
    - v. Closed Public Hearing \_\_\_ p.m.
  - B. Consider Comprehensive and Zoning Amendments Related to the Addition of a General Commercial Land Use Designation to the Comprehensive Plan and a B-3, General Business Zoning District to the Zoning Ordinance and Map Along with Modifications to Non-Retail Commercial Uses in the B-2, Highway Commercial Zoning District
    - i. Open Public Hearing at \_\_\_\_\_ p.m.
    - ii. Staff Presentation\*
    - iv. Public Comment
    - v. Closed Public Hearing \_\_\_ p.m.
  - C. Land Use/Action Items
    - A. Consider Preliminary Plat and Planned Unit Development Amendment for a Retail Store in the Dundas Commercial Park at 540 and 600 Schilling recommendation to City Council
    - B. Consider comprehensive and zoning amendments related to the addition of a General Commercial land use designation to the Comprehensive Plan and a B-3, General Business Zoning District to the zoning ordinance and map along with modifications to non-retail commercial uses in the B-2, Highway Commercial Zoning District recommendation to the City Council
    - C. Other Business
    - D. ADJOURN

**CITY OF DUNDAS PLANNING COMMISSION  
PUBLIC HEARING AND REGULAR MEETING MINUTES  
THURSDAY, APRIL 20, 2023  
7:00 P.M. - DUNDAS CITY HALL**

**UNOFFICIAL MINUTES**

Present: Chair Grant Modory, Commissioners, Bruce Morlan, Luke LaCroix, Luke Swartwood, Glenn Switzer

Absent: Commissioner Larry Alderks, Commissioner Francis Boehning

Staff: City Planner Nate Sparks, City Administrator Jenelle Teppen

**CALL TO ORDER**

Chair Modory called the Dundas Planning Commission Public Hearing and regular meeting to order at 7:06 p.m. A quorum was present.

**PUBLIC FORUM/PRESENTATIONS (non-agenda items)**

**APPROVAL OF AGENDA**

**Motion by Morlan, second by LaCroix, to approve agenda. MCU**

**APPROVAL OF MINUTES**

**Motion by Morlan, second by Swartwood, to approve the public hearing and regular meeting minutes of January 19, 2023. MCU**

**PUBLIC HEARING**

Ordinance and Zoning Map Amendments Related to Implementing the Comprehensive Plan and Establishing New Districts and Standards

*Open Public Hearing:* Chair Modory opened the public hearing regarding ordinance and zoning map amendments related to implementing the Comprehensive Plan and establishing new districts and standards at 7:07 p.m.

*Staff Presentation:* City Planner Sparks reviewed the proposed amendments to the City Code regarding the zoning code. All the proposed changes are narrowly focused on land use designations.

Sparks highlighted the specific areas of the zoning code that would be updated; non-conforming uses, required frontage, downtown parking, residential housing standards, deletion of the LDSF District, housing standards moved, impervious surface standards, new R-2 district, bed and breakfasts, corner setbacks, Hester Street additional uses, downtown split, zoning map.

After some discussion and questions/answers, the Chair closed the Public Hearing at 8:26 PM.

**LAND USE/ACTION ITEMS**

a. Consider Recommending Ordinance and Zoning Map Amendments Related to Implementing the Comprehensive Plan and Establishing New Districts and Standards to the City Council.

**Motion by LaCroix, second by Swartwood to recommend the ordinance and zoning map amendments related to implementing the Comprehensive Plan and Establishing new districts and standards to the City Council.**

**ADJOURN**

**Motion by Morlan, second by Swartwood to adjourn at the meeting at 8:35 PM**

Minutes prepared by Jenelle Teppen, City Administrator/City Clerk

## PLANNING REPORT

TO: Dundas City Council  
Dundas Planning Commission  
Jenelle Teppen, City Administrator

FROM: Nate Sparks, City Planner

DATE: August 28, 2023

RE: Tractor Supply  
Preliminary Plat / Final Plat / Planned Unit Development / Site Plan Review

### BACKGROUND

Tractor Supply Company has made an application for a Preliminary & Final Plan, Planned Unit Development, and Site Plan Review for a retail store at 540 & 600 Schilling Drive.

### DEVELOPMENT DETAILS

**Land Use.** The City's Comprehensive Plan (Land Use Plan) guides the subject site for a Retail Commercial Land Use. The site is zoned B-2, Highway Commercial.

**Planned Unit Development.** The project generally meets all zoning requirements. However, the PUD established allows for greater than 30% of an outdoor sales/greenhouse area and a front yard setback of 10 feet.

The outdoor sales areas total around 27,000 square feet and the building size is about 21,250. Most of the sales area is a fenced area to the side of the building or potential sales areas on the sidewalk in front. There is also a trailer area identified to the west of the parking lot.

The front yard setbacks are proposed at 10 feet from Schilling Drive. This is inline with the other buildings along this street.

**Streets.** The applicant is proposing to dedicate right-of-way for the existing roads in this area.

**Lots.** Two lots are being proposed that both meet the minimum standards of the zoning ordinance. The other lot not being developed, at this time, will remain with the original owner.

**Landscaping & Lighting.** The applicant has provided landscaping and lighting plans that generally meet the City's Zoning Ordinance.

**Architecture.** The applicant has provided building plans that generally meet City Ordinances.

**Grading, Drainage and Utilities.** Issues related to grading, drainage, and utilities, including the establishment of related outlots and easements, should be subject to comment and recommendation by the City Engineer.

Additionally, the applicant must expand the side of the pond in the first phase of the development.

**Development Agreement.** As a condition of final plat approval, the applicant will be required to enter into a development agreement with the City and post all the necessary securities required by it. This issue should be subject to further comment by the City Attorney.

**RECOMMEDATION**

The Planning Commission should hold a public hearing and the City Council should consider the draft approval documents for the proposed project.





**SITE DEVELOPMENT PLANS**  
**REESE DEV - TSC**  
**DUNDAS, MN**



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**UTILITY COMPANIES:**

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 CITY OF DUNDAS

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 CITY OF DUNDAS

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**TELEPHONE:**  
 UTILITY PHONE COMPANY

CONTACT: UTILITY PHONE CONTACT  
 PH: UTILITY PHONE #  
 EMAIL: UTILITY PHONE EMAIL

**PROJECT LOCATION** August 2023



**VICINITY MAP**  
 1" = 1/8mi

SHEET INDEX	
Sheet Number	Sheet Title
C1	TITLE SHEET
C2	GENERAL NOTES
C3	EXISTING CONDITIONS-DEMO PLAN
C4	SITE PLAN
C5	GRADING PLAN
C6	UTILITY PLAN
C7	DRAINAGE PLAN
C8	JOINTING PLAN
C9	EROSION CONTROL PLAN
C10	EROSION CONTROL DETAILS
C11	CONSTRUCTION DETAILS
C12	CONSTRUCTION DETAILS
C13	CONSTRUCTION DETAILS
C14	CONSTRUCTION DETAILS
C15	BORING LOGS
C16	BORING LOGS
C17	BORING LOGS
L1	LANDSCAPE PLAN

\*THE STANDARD SHEETS SPECIFICALLY IDENTIFIED ABOVE HAVE BEEN SELECTED BY ME OR UNDER MY RESPONSIBLE SUPERVISION AS BEING APPLICABLE TO THIS PROJECT.

PREPARED BY:  
**SE3**  
 13747 MONTFORT DR  
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 DALLAS, TX 75240  
 214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE DEVELOPMENT PARTNERS**

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PRELIMINARY - FOR REVIEW ONLY  
 THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF:  
 MATT GAUNTT 6/15/23 8/16/23  
 TYPE OR PRINT NAME FE# DATE

PROJECT NOTES:

BENCHMARKS:

BENCHMARK 1:  
 HYDRANT - TNH  
 ELEVATION: 924.27'  
 N: 186414.14  
 E: 483352.17  
 BENCHMARK 2:  
 HYDRANT - TNH  
 ELEVATION: 928.53'  
 N: 186892.21  
 E: 483286.41  
 BENCHMARK 3:  
 HYDRANT - TNH  
 ELEVATION: 929.07'  
 N: 185704.53  
 E: 783567.81  
 BENCHMARK 4:  
 HYDRANT - TNH  
 ELEVATION: 927.66'  
 N: 186124.24  
 E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**

DUNDAS, MN

**TITLE SHEET**

PROJECT NUMBER: 03-217-003

DATE: 8/16/23	SCALE: NTS
DRAFTED BY: BML	SHEET No. <b>C1</b>
DESIGNED BY: BML	OF 18 SHEETS
CHECKED BY: MAG	

**ARCHITECT:**

OXFORD ARCHITECTURE

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**SURVEYOR:**

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**GENERAL CONSTRUCTION NOTES**

- ALL SITE WORK SHALL BE PERFORMED UTILIZING MATERIAL AND METHODS IN STRICT ACCORDANCE WITH APPLICABLE SECTIONS OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION - LATEST EDITION, LOCAL REQUIREMENTS, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. WHERE THERE IS A CONFLICT, THE MORE RESTRICTIVE SPECIFICATIONS SHALL GOVERN. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO SUBMISSION OF A BID. SUBMISSION OF A BID SHALL MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- CUT SHEETS FOR ALL UNDERGROUND UTILITIES SHALL BE SUBMITTED TOGETHER IN ONE SUBMITTAL PRIOR TO ORDERING ANY UNDERGROUND MATERIALS OR APPURTENANCES.
- ALL PRESUMED ERRORS OR DEFICIENCIES IN THE ENGINEERING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AS A PART OF THE OVERALL BID SUBMITTAL.
- ALL PROPOSED SUBSTITUTIONS AND DEVIATIONS FROM THIS PLAN SET AND SPECIFICATIONS HAVE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AS A PART OF THE BID SUBMITTAL.
- ANY DAMAGE TO EXISTING MANHOLES, STRUCTURES, UTILITIES, FENCES, TILES, TRENCHES, PAVEMENTS, AND NOT CALLED OUT SPECIFICALLY IN THE PLANS SHALL BE REPAIRED OR REPLACED WITH EQUALS WITHOUT COST TO THE OWNER.
- ALL PHASES OF THE PROPOSED IMPROVEMENTS ARE SUBJECT TO TESTING BY THE OWNER AND MUNICIPALITY. THE COST OF TESTS REQUIRED BY THESE AGENCIES OR PARTIES SHALL BE BORNE SOLELY BY THE CONTRACTOR AND THIS COST SHALL BE INCORPORATED INTO HIS PROPOSAL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE FROM THE PARTIES AND AGENCIES INVOLVED WHAT TESTS ARE REQUIRED. THERE WILL BE NO EXTRAS AWARDED AS A RESULT OF THE CONTRACTOR CLAIMING IGNORANCE OF THE TESTING REQUIREMENTS FOR THIS PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS. THE CONSTRUCTION DETAILS, AS PRESENTED ON THESE PLANS MUST BE FOLLOWED BY THE CONTRACTOR. IMPROVEMENT REPRESENTATIONS AS SHOWN ON THESE PLANS ARE AS ACCURATE AS POSSIBLE FROM THE INFORMATION AVAILABLE. HOWEVER, SOME FIELD REVISIONS MAY BE REQUIRED TO ACCOMMODATE UNFORSEEN CIRCUMSTANCES. THE OWNER, MUNICIPALITY, AND ENGINEER SHALL BE ADVISED OF ANY NECESSARY REVISIONS WITH SUFFICIENT LEAD TIME ALLOWED TO PROPERLY CONSIDER AND ACT UPON SAID REQUESTS.
- ALL RESTORATION OF EXISTING ROADWAYS, RIGHT-OF-WAYS OR PRIVATE PROPERTY ARE CONSIDERED INCIDENTAL TO THIS PROJECT WHERE NOT SPECIFICALLY CALLED OUT ON THE PLANS AND SHOULD BE INCLUDED IN THE COST OF THE PAVEMENT OR UNDERGROUND IMPROVEMENTS.
- DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING, OR ANY OTHER METHOD ACCEPTABLE TO THE OWNER. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUIRED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.
- WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC., SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE APPLICABLE ARTICLES OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION. NO MODIFICATIONS OF THESE REQUIREMENTS SHALL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER. THE COST OF TRAFFIC CONTROL AND PROTECTION IS LIMITED TO THE CONTRACT AMOUNT.
- AS PART OF THE BIDDING PROCEDURE, THE CONTRACTOR SHALL VERIFY THAT THE QUANTITIES FOR PAY ITEMS AS PRESENTED IN THESE PLAN DOCUMENTS ARE SUBSTANTIALLY CORRECT. IF DISCREPANCIES ARE DETECTED, THE CONTRACTOR SHALL NOTIFY THE OWNER, IN WRITING, OF THE DISCREPANCY PRIOR TO THE BID DATE.

**GRADING NOTES**

- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES, INCLUDING PIPELINES, SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHOWN ARE APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL OF THE EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION, AND SIZE OF ALL UTILITIES AND UNDERGROUND STRUCTURES AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, ACCURACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE IN PLACE.
- ALL EARTHWORK OPERATIONS SHALL BE IN STRICT CONFORMANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED IN ALL DISTURBED AREAS WHICH WILL REMAIN UNPAVED. REMOVE ALL ORGANICS. ANY AREAS DAMAGED OR DESTROYED DURING THE PROJECT AS A DIRECT OR INDIRECT RESULT OF CONTRACTOR OPERATIONS SHALL BE RESTORED TO THAT CONDITION OR BETTER WHICH EXISTED PRIOR TO THE START OF CONSTRUCTION. THE COST OF SAID RESTORATION OR REPAIR SHALL BE BORNE TOTALLY BY THE CONTRACTOR, WITH NO EXTRA COMPENSATION BEING AWARDED UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING ENTRANCE LOCATIONS.
- SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- PAVEMENT SLOPES ACROSS HANDICAP PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE A MAXIMUM OF 2% IN ALL DIRECTIONS, INCLUDING DIAGONALLY, OR IN ACCORDANCE WITH THE LATEST ADA STANDARDS.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES THROUGH THE GRADING PROCESS TO AVOID LARGE POOLS OF STANDING WATER AND TO KEEP SITE WORK FUNCTIONING. THIS MAY INVOLVE THE INSTALLATION OF STORM PIPES AND THE POND OUTLET IF NECESSARY.
- ALL SURPLUS EXCAVATED MATERIAL FROM THE EARTHWORK, UTILITY TRENCHES, FOUNDATION EXCAVATION, ETC., IS TO BE SPREAD OVER THE SITE IN LOCATIONS AS DIRECTED BY THE OWNER AND COMPACTED; OR HAULED OFF-SITE AS DIRECTED BY THE OWNER TO A MUTUALLY AGREED UPON LOCATION. THE COST OF MATERIAL, TRANSPORTATION AND CONSTRUCTION OPERATIONS INVOLVED IN PERFORMING THIS ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND SHALL BE INCLUDED IN THE BID FOR THE UTILITY OR EARTHWORK.
- EARTHWORK QUANTITIES AND ASSUMPTIONS ARE SHOWN IN THESE PLANS FOR COMPARISON PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING HIS OWN EARTHWORK COMPUTATIONS AND ANALYSES.
- CONTRACTOR TO INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON THE EROSION & SEDIMENT CONTROL SHEET AND RELATED DETAILS. IT IS ANTICIPATED THAT THE MATERIAL USED FOR THE TEMPORARY CONSTRUCTION ENTRANCE WILL NEED TO BE REMOVED AND THE UNDERLYING SOIL WILL NEED TO BE RE-COMPACTED. FAILURE TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION MAY RESULT IN UNSUITABLE SOILS THAT WILL NEED TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

**UTILITY NOTES**

- GRANULAR TRENCH BACKFILL MATERIAL (ASTM D448 NO. 67 OR AS APPROVED BY THE ENGINEER) SHALL BE PLACED AND COMPACTED IN LIFTS IN ALL UTILITY AND SERVICE TRENCHES, (INCLUDING UNDERGROUND DETENTION FACILITIES WHEN PROPOSED), UNDER OR WITHIN (2) FEET OF PAVED SURFACES. THE BACKFILL SHALL EXTEND TO THE SUBGRADE OF THE PAVEMENT. UTILITY TRENCHES NOT UNDER OR WITHIN (2) FEET OF PAVED SURFACES SHALL BE BACKFILLED WITH EXISTING MATERIALS AS APPROVED BY THE ENGINEER. SHOULD UNSUITABLE MATERIAL BE ENCOUNTERED, THE CONTRACTOR SHALL SUBSTITUTE APPROVED MATERIALS AT NO ADDITIONAL COST.
- IF PIPES ARE INSTALLED PRIOR TO MASS GRADING, RESULTING IN THE PLACEMENT OF SOIL ABOVE THE PREVIOUSLY CONSTRUCTED TRENCH, SAID SOIL MUST BE REMOVED AND REPLACED WITH GRANULAR TRENCH BACKFILL SUCH THAT THE GRANULAR TRENCH BACKFILL EXTENDS FROM THE PIPE BEDDING ALL THE WAY TO THE SUBGRADE.
- THERMOPLASTIC PIPE FOR SANITARY AND STORM SEWERS SHALL BE INSTALLED AND TESTED PER ALL SECTIONS OF ASTM D-2321. PVC WATERMAIN SHALL BE INSTALLED AND TESTED PER ALL SECTIONS OF AWWA C605.
- SANITARY SEWER SHALL BE PVC SDR-26 PIPE CONFORMING TO ASTM D-3034 WITH ELASTOMERIC JOINTS PER ASTM D-3212. THE SEALING GASKET MUST CONFORM TO THE REQUIREMENTS OF ASTM F-477.
- WATER MAINS SHALL BE PVC DR-14 PIPE CONFORMING TO AWWA C900, WITH JOINTS CONFORMING TO ASTM D-3139, AND THE JOINT GASKET SHALL CONFORM TO ASTM F-477. THE PIPE SHALL HAVE A MINIMUM COVER OF 5.5'.
- STORM SEWER SHALL BE HDPE EXCEPT WHERE NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM D-3350. JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D-3212 AND THE SEALING GASKET SHALL MEET THE REQUIREMENTS OF ASTM F-477.
- RCP STORM SEWER SHALL CONFORM TO ASTM C 76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. THE REQUIRED CLASS OF PIPE SHALL BE AS INDICATED ON THE PLANS, OR CLASS IV IF NOT INDICATED.
- THE PVC STORM SEWER ADJACENT TO THE BUILDING FOR DOWNSPOUT COLLECTION AND PVC STORM SEWER CALLED OUT AS "WATERMAIN QUALITY" SHALL BE DR-25 AND CONFORM TO AWWA C900, WITH JOINTS CONFORMING TO ASTM D-3139, AND THE JOINT GASKET SHALL CONFORM TO ASTM F-477. OTHER PVC STORM SEWER (4-15") SHALL BE SDR-35 PIPE CONFORMING TO ASTM D-3034 WITH ELASTOMERIC JOINTS PER ASTM D-3212. THE SEALING GASKET MUST CONFORM TO THE REQUIREMENTS OF ASTM F-477. PVC STORM SEWER 18" DIAMETER AND ABOVE SHALL MEET THE REQUIREMENTS OF ASTM F-679 WITH JOINTS PER ASTM D-3212.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL PRIVATE UTILITIES, UTILITY FRANCHISE, TAP AND INSTALLATION. FEES REQUESTED FROM UTILITY PROVIDERS SHALL BE PAID FOR BY THE OWNER. CONTRACTOR TO FACILITATE PAYMENT AND PROGRESS.
- 6" FIRE PROTECTION LINE IS ASSUMED FOR BIDDING PURPOSES. SITE CONTRACTOR TO COORDINATE WITH FIRE SPRINKLER DESIGNER PRIOR TO INSTALLATION.
- ALL WATER FITTINGS (INCLUDING BENDS OR ELBOWS 1 1/4" AND GREATER), VALVES AND FIRE HYDRANTS SHALL INCLUDE RESTRAINED JOINTS OR CONCRETE THRUST BLOCKS.
- WHENEVER POSSIBLE, A WATER MAIN SHOULD BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN OR SEWER LINE.
- SHOULD LOCAL CONDITIONS PREVAIL WHICH WOULD PREVENT A LATERAL SEPARATION OF TEN FEET, A WATER MAIN MAY BE LAID CLOSER THAN TEN FEET TO, OR IN THE SAME TRENCH AS, A STORM OR SANITARY SEWER, PROVIDED THE MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER AND AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES ABOVE THE TOP OF THE SEWER. THIS DEVIATION MUST BE APPROVED IN WRITING BY THE CITY ENGINEER.
- WHENEVER WATER MAINS OR SERVICES MUST CROSS STORM DRAINS OR SANITARY SEWERS, THE WATER MAIN SHOULD BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS EIGHTEEN INCHES ABOVE THE TOP OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION SHOULD BE MAINTAINED FOR THE PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET, HORIZONTALLY, OF ANY SEWER OR DRAIN CROSSED. SAID TEN FEET TO BE MEASURED AS THE NORMAL DISTANCE FROM THE WATER MAIN TO THE DRAIN OR SEWER.
- WHERE CONDITIONS EXIST THAT THE MINIMUM VERTICAL SEPARATION DESCRIBED ABOVE CANNOT BE MAINTAINED, OR IT IS NECESSARY FOR THE WATER MAIN TO PASS UNDER A SEWER OR DRAIN, THE SEWER MAIN SHOULD BE OF WATER MAIN QUALITY MATERIAL (DUCTILE IRON OR PVC PIPE CONFORMING TO AWWA C900 WITH JOINTS CONFORMING TO ASTM D-3139).
- ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED (UP TO 8" TOTAL ADJUSTMENT) OR RECONSTRUCTED BY THE CONTRACTOR. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED AND/OR CONNECTED TO THE STORM SEWER SYSTEM IN A MANNER DEEMED APPROPRIATE BY THE CITY ENGINEER.

**CONCRETE PAVING NOTES**

- MIXES SHALL BE DESIGNED TO PROVIDE CONCRETE IN COMPLIANCE WITH ASTM C94 WITH A 4,000 PSI (CLASS A) COMPRESSIVE STRENGTH AT 28 DAYS. MIX SHOULD BE DESIGNED WITH 4-6% AIR ENTRAINMENT.
- PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE 1, UNLESS OTHERWISE APPROVED.
- NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. THE MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE THE FOLLOWING: PAVEMENT = 1"
- ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, **AND APPROVED BY ENGINEER.**
- SLUMP SHALL NOT EXCEED 5" FOR PAVEMENTS PLACED BY METHODS OTHER THAN SLIPFORM EQUIPMENT OR 1-1/2" FOR CONCRETE PLACED WITH SLIPFORM EQUIPMENT.
- SPRAY WHITE PIGMENTED MEMBRANE-FORMING CURING COMPOUNDS MEETING ASTM C309, TYPE 2, CLASS A DIRECTLY AFTER FINISHING.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A-615. NO. 3 AND LARGER BARS SHALL BE GRADE 60.
- MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".
- REINFORCING STEEL WILL NOT BE ACCEPTED WITHOUT APPROPRIATE CHAIRING. BRICK CHAIRS ARE NOT ACCEPTABLE. MANUFACTURED PLASTIC REBAR CHAIRING THAT ARE ADEQUATE IN STRENGTH AND NUMBER TO PREVENT DISPLACEMENT OF REINFORCING STEEL SHALL BE USED. CHAIR SUPPORTS SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATION, BUT SHALL NOT IN ANY CASE EXCEED A MAXIMUM OF 4-FT EACH DIRECTION.
- ALL SLOPES WITHIN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS. ALL SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5.0% LONGITUDINALLY AND 2.0% IN CROSS-SLOPE.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL TAS STANDARDS FOR ACCESSIBILITY. DISCREPANCIES BETWEEN THE PLANS AND TAS STANDARDS SHALL DEFER TO TAS REQUIREMENTS. NOTIFY ENGINEERING IN THE EVENT OF A DISCREPANCY.
- FAULTY CONCRETE PAVING WORKMANSHIP INCLUDING, BUT NOT LIMITED TO, BIRD BATHS, RAVELING, SPALLING, SCALING, EARLY AND/OR EXTREME CRACKING, ETC. SHALL BE REMOVED BY SAWCUTTING ENTIRE EFFECTED PANEL FROM NEAREST CONTRACTION AND/OR EXPANSION JOINTS. REPLACEMENT SHALL INCORPORATE APPROPRIATE DOWELING AND REINFORCEMENT PER PLAN DETAILS

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**REESE REAL ESTATE  
DEVELOPMENT  
PARTNERS**

1076 SUMMIT DRIVE  
MIDDLETOWN, OHIO 45042  
(513) 849-8015

**PRELIMINARY - FOR REVIEW ONLY**

THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF:

MATT GAUNTT	6/15/96	8/16/23
TYPE OR PRINT NAME	FE #	DATE

**PROJECT NOTES:**

**BENCHMARKS:**

BENCHMARK 1: HYDRANT - TMI ELEVATION: 924.27 N: 186414.14 E: 483352.17	BENCHMARK 2: HYDRANT - TMI ELEVATION: 928.59 N: 186892.21 E: 483286.41	BENCHMARK 3: HYDRANT - TMI ELEVATION: 929.07 N: 185704.53 E: 783567.81	BENCHMARK 4: HYDRANT - TMI ELEVATION: 927.66 N: 186124.24 E: 483927.22
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**REVISIONS / ISSUANCES**

No.	DATE	BY	DESCRIPTION
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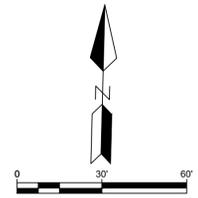
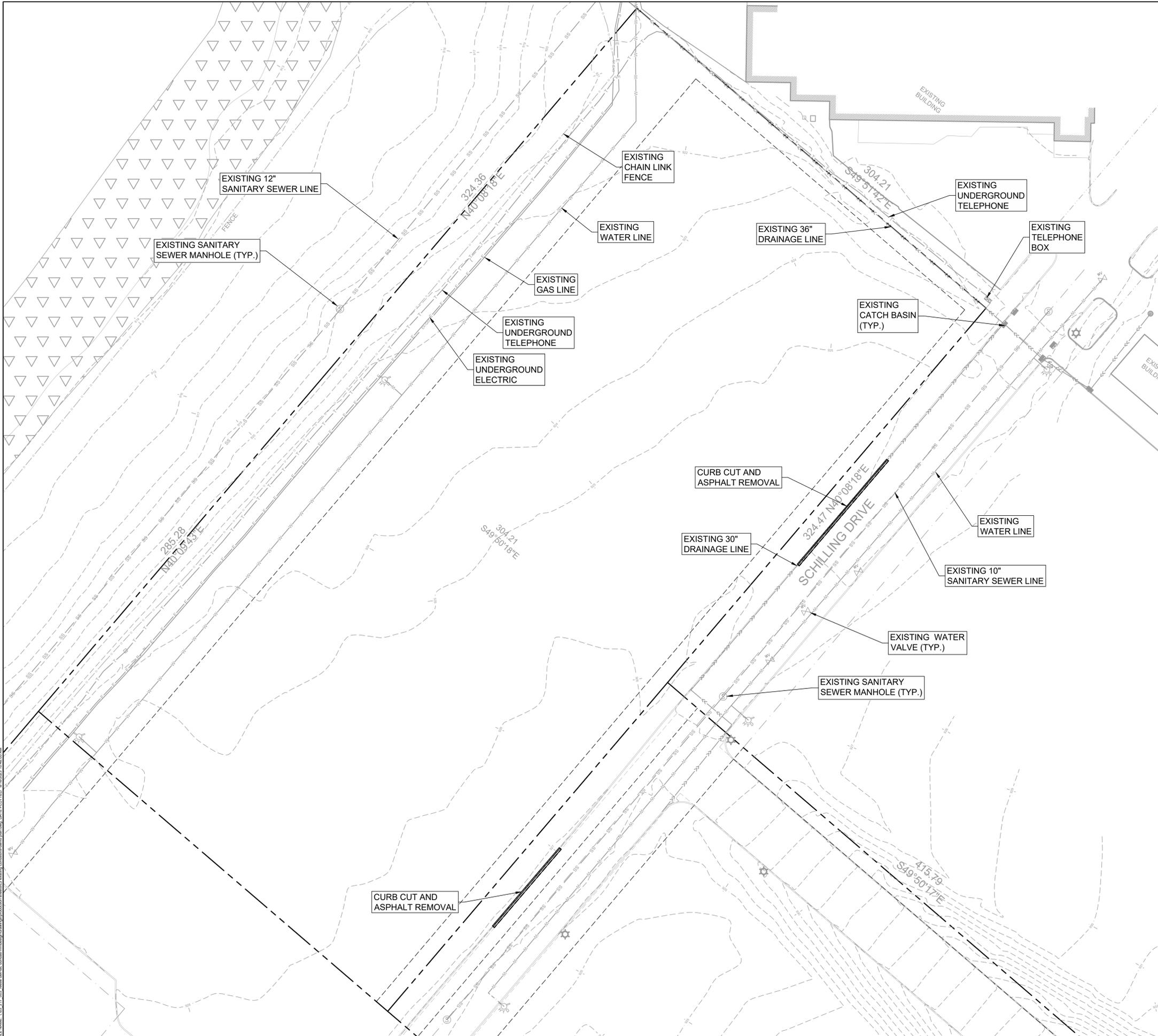
**REESE DEV - TSC**

PROJECT ADDRESS  
DUNDAS, MN

**GENERAL NOTES**

PROJECT NUMBER: 03-217-003

DATE: 8/16/23	SCALE: NTS
DRAFTED BY: BML	SHEET No.
DESIGNED BY: BML	<b>C2</b>
CHECKED BY: MAG	OF 18 SHEETS



**LEGEND**

- BOUNDARY LINE
- EASEMENT LINE
- PARKING / BUILDING SETBACK LINE
- SAW CUT LIMITS
- PAVEMENT REMOVAL

PREPARED BY:  
**SEA**  
 13747 MONTFORT DR  
 SUITE 275  
 DALLAS, TX 75240  
 214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE  
 DEVELOPMENT  
 PARTNERS**

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 PREPARED BY, OR UNDER SUPERVISION OF:  
 MATT GAULTT 61596 8/16/23  
 TYPE OR PRINT NAME FE# DATE

PROJECT NOTES:

BENCHMARKS:

- BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27'  
N: 186414.14  
E: 483352.17
- BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93'  
N: 165982.21  
E: 483286.41
- BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07'  
N: 185704.53  
E: 753567.81
- BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66'  
N: 186124.24  
E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**EXISTING  
 CONDITIONS-DEMO  
 PLAN**



Know what's below.  
 Call before you dig.

**GOPHER STATE ONE**  
 48 HOURS BEFORE YOU DIG  
 CALL 811 OR 800-252-1166

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
SCALE:	1"=30'
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SHEET No.:	<b>C3</b>
OF 18 SHEETS	

FILE NAME: L:\03\_217\_003\_reese\_dev\_tsc\_undus\_mn\gis\production\sheet03\_existing\_conditions-demo plan.dwg, DATE PLOTTED: 8/16/2023 10:46:02 AM

03-217-003-REESE DEV-TSC

PROJECT NOTES:

**LEGEND**

- BOUNDARY LINE
- EASEMENT LINE
- PARKING / BUILDING SETBACK LINE
- PROPOSED LIGHT POLE & FIXTURE(S)
- PROPOSED SIGN
- LIGHT DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PERMANENT SIDEWALK DISPLAY AREA
- SIDEWALK PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT

NOTE:  
 PAVEMENT TO BE CONSTRUCTED TO THE APPLICABLE  
 PAVEMENT SECTIONS IN THE CONSTRUCTION DETAILS

NOTES:

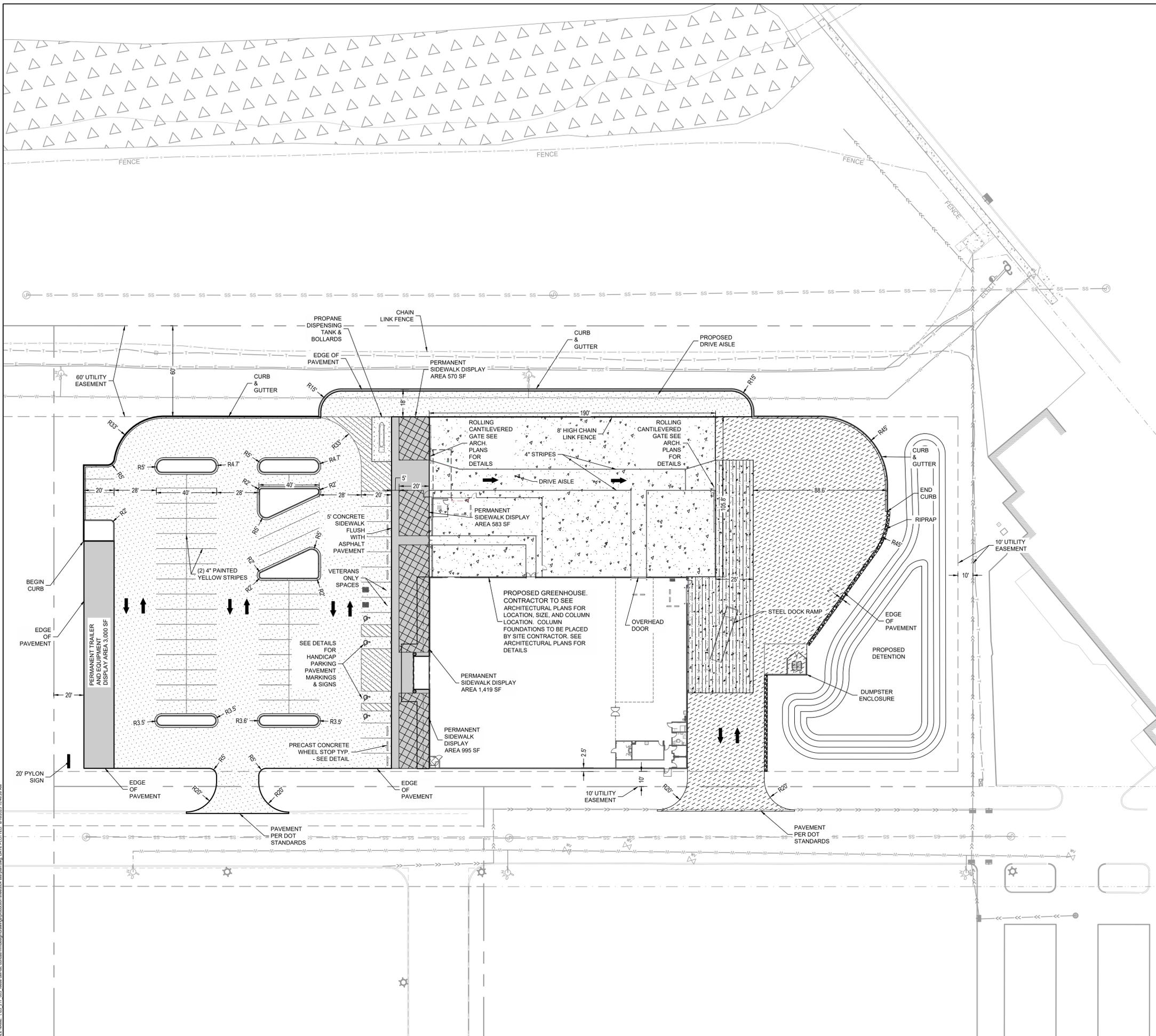
1. LIGHTING LOCATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO ELECTRICAL PLANS TO CONFIRM LOCATIONS AND FOR PHOTOMETRIC VALUES.
2. STRIPING ON CONCRETE TO BE YELLOW AND STRIPING ON ASPHALT TO BE WHITE.
3. DIMENSIONS ARE SHOWN TO FACE OF CURB.
4. DETECTABLE WARNING SURFACES (TRUNCATED DOMES) SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

**PARKING LOT PAINT SPECIFICATIONS - 15 MIL APPLICATION (0.015 INCH THICKNESS):**

1. NEW PAVEMENT SURFACE TO CURE FOR A PERIOD OF NOT LESS THAN 14 DAYS BEFORE APPLICATION OF MARKING MATERIALS.
2. REMOVE ALL DIRT, GRAVEL, DEBRIS, VEGETATION, OR OTHER MISCELLANEOUS OBJECTS FROM THE SURFACE WITH A BROOM TRUCK OR EQUIVALENT RIGOROUS METHOD. PROVIDE A CLEAN, DUST-FREE AND COMPLETELY DRY SURFACE FOR PAINT APPLICATION. DO NOT APPLY PAINT OVER EXISTING TAPE MARKINGS.
3. CONFIRM & RECORD PROPER AIR AND SURFACE TEMPERATURES OF 55° AND RISING AND LESS THAN 95°. IF THE SURFACE TEMPERATURE IS NOT WITHIN THE TEMPERATURE RANGE OR IF THE PAINT APPLICATION IS DONE UNDER ADVERSE CONDITIONS (AS DETERMINED BY THE CONSTRUCTION PROJECT MANAGER) SUCH AS ABOVE 75% HUMIDITY, NIGHT STRIPING, ETC. IN ORDER TO MEET TSC OPENING SCHEDULE, CONTRACTOR TO RE-SCHEDULE AND COMPLETE SURFACE STRIPING UNDER PROPER CONDITIONS A MINIMUM OF 30 DAYS PRIOR TO THE EXPIRATION OF THE (1) ONE YEAR CONSTRUCTION WARRANTY.
4. PROVIDE A 15 MIL THICK 4" WIDE CONTINUOUS STRIPE WHERE AND IN THE COLOR INDICATED, MINIMUM OF (2) TWO COATS.
5. PROVIDE PRIMER AND SEALER TO BE APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS ON ALL CONCRETE SURFACES AND ON ASPHALT SURFACES THAT ARE MORE THAN TWO YEARS OLD, OXIDIZED AND/OR HAVE AGGREGATE EXPOSED.
6. SEE ARCHITECTURAL PLANS FOR VETERAN AND ON-LINE ORDER PARKING SPACES.

**PARKING SUMMARY**

70	REGULAR SPACES
4	HANDICAPPED SPACES (Including 1 van accessible space)
74	TOTAL SPACES PROVIDED



BENCHMARKS:

- BENCHMARK 1:  
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E: 483352.17
- BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93'  
N: 185982.21  
E: 483286.41
- BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07'  
N: 185104.53  
E: 763567.81
- BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66'  
N: 186124.24  
E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**SITE PLAN**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
SCALE:	1"=30'
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SHEET No.	<b>C4</b>
OF 18 SHEETS	

FILE NAME: L:\03\_217\_003\_reese\_dev.tsc\civil\magnus\production\sheet04.dwg DATE PLOTTED: 8/16/2023 10:48:26 AM

03-217-003-REESE DEV-TSC

PREPARED BY:



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SUITE 275  
DALLAS, TX 75240  
214-678-9968

PREPARED FOR:

**REESE REAL ESTATE  
DEVELOPMENT  
PARTNERS**

1076 SUMMIT DRIVE  
MIDDLETOWN, OHIO 45042  
(513) 849-8015

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MATT GAUNT 6/15/20 8/16/23  
TYPE OR PRINT NAME FE# DATE

PROJECT NOTES:

BENCHMARKS:

BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27  
N: 186414.14  
E: 483352.17  
BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 925.50  
N: 185982.21  
E: 483286.41  
BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 925.07  
N: 185704.53  
E: 783567.81  
BENCHMARK 4:  
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REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**

PROJECT ADDRESS  
DUNDAS, MN

**GRADING PLAN**

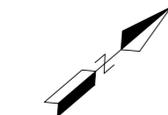
PROJECT NUMBER: 03-217-003

DATE: 8/16/23 SCALE: 1"=30'

DRAFTED BY: BML SHEET No. C5

DESIGNED BY: BML OF 18 SHEETS

CHECKED BY: MAG



**LEGEND**

BOUNDARY LINE - - - - -

PROPOSED CONTOURS - (800) - - - - -

EXISTING CONTOURS - - - - -

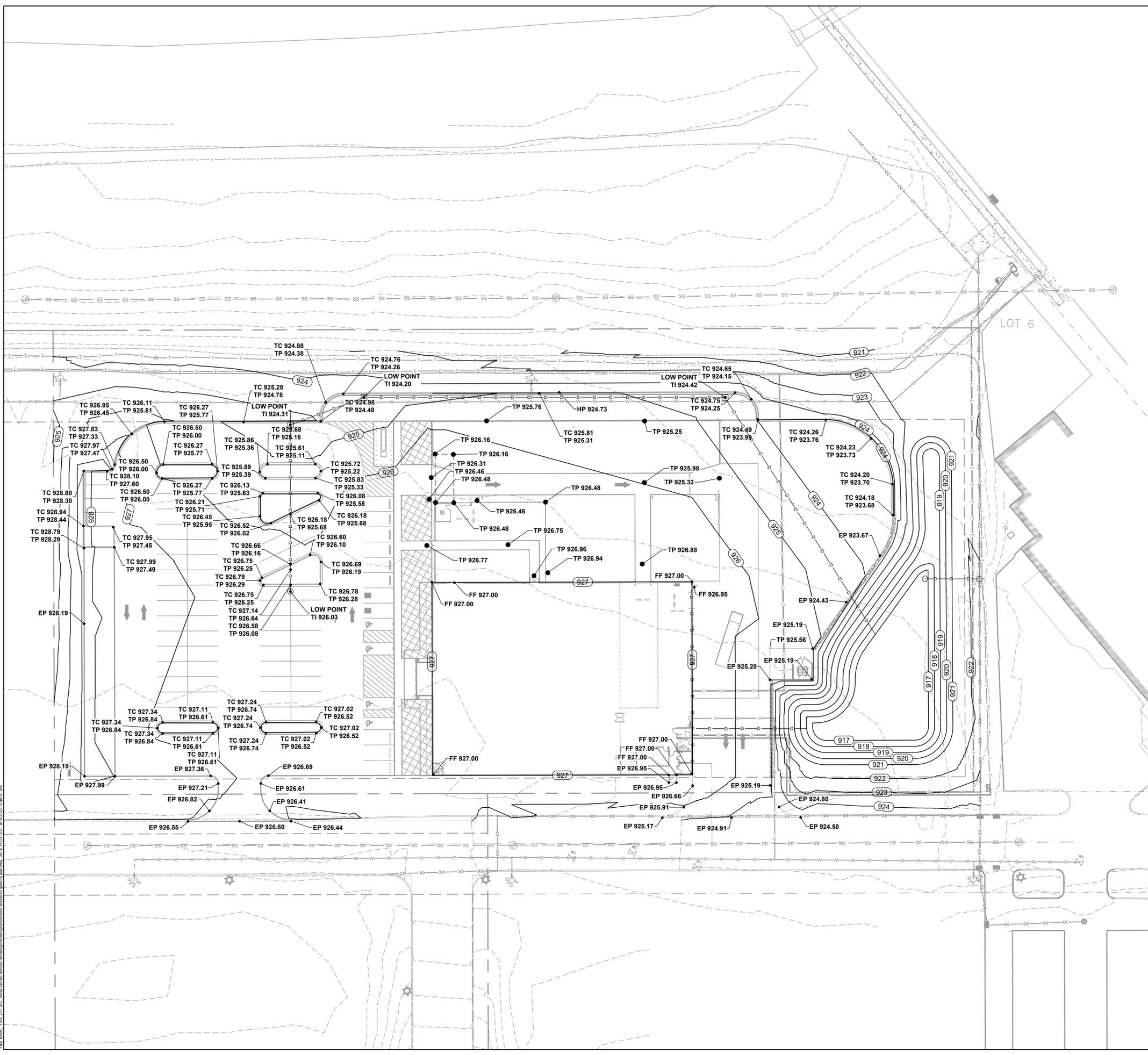
DRAINAGE FLOW / DITCH LINE - - - - -

ELEVATION SPOT SHOTS:

- TC = TOP OF CURB
- TP = TOP OF PAVEMENT
- EP = EDGE OF PAVEMENT
- FL = FLOW LINE
- TI = TOP OF INLET
- FF = FINISHED FLOOR
- HP = HIGH POINT
- LP = LOW POINT
- TW = TOP OF WALL
- BW = BOTTOM OF WALL
- FG = FINISHED GRADE

**GRADING NOTES**

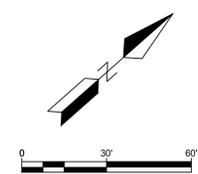
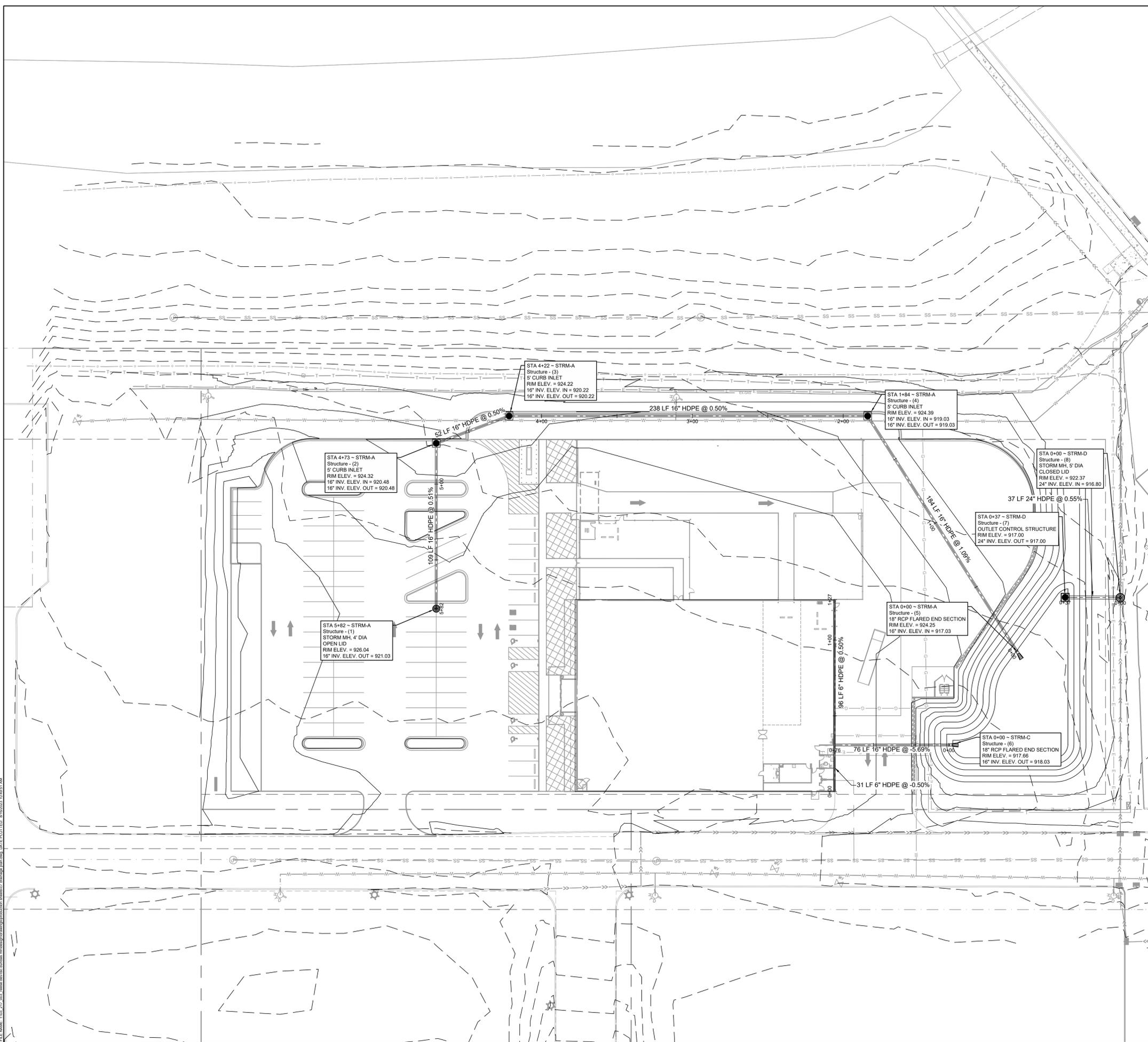
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO THE START OF GRADING.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE IN PLACE.
- ALL EARTHWORK OPERATIONS SHALL BE IN STRICT CONFORMANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED IN ALL DISTURBED AREAS. THE PROPOSED ELEVATIONS ARE FINISHED GRADES. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISHED GRADE ELEVATIONS ARE ACHIEVED.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO SUBMISSION OF A BID. SUBMISSION OF A BID SHALL MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- PAVEMENT SLOPES ACROSS HANDICAP PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE A MAXIMUM OF 2% IN ALL DIRECTIONS, OR IN ACCORDANCE WITH THE LATEST ADA STANDARDS.
- ALL AREAS NOT PAVED SHALL BE LANDSCAPED IN ACCORDANCE WITH THE LANDSCAPING NOTES ON ARCHITECTURAL PLAN SHEET AS-1, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE DEVELOPER.
- RESTORATION WITHIN THE STATE ROW SHALL BE IN ACCORDANCE WITH DOT STANDARD SPECIFICATIONS.
- THE DETENTION BASIN SHALL BE SEEDED WITH WETLAND SEED MIXES.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES THROUGH THE GRADING PROCESS TO AVOID LARGE POOLS OF STANDING WATER AND TO KEEP SITE WORK FUNCTIONING. THIS MAY INVOLVE THE INSTALLATION OF STORM PIPES AND THE POND OUTLET IF NECESSARY.



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03-217-003-REESE DEV TSC





**LEGEND**

- STORM SEWER LINE / DRAINAGE LINE (DOUBLE LINE)
- STORM MANHOLE, CLOSED LID
- STORM MANHOLE, OPEN LID
- STORM CATCH BASIN, CLOSED LID
- STORM CATCH BASIN, OPEN LID
- STORM GRATE INLET/ CATCH BASIN STRUCTURE
- STORM CLEANOUT
- RCP SFES (SAFETY FLARED END SECTION) W / GRATE
- CURB INLET

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 214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE DEVELOPMENT PARTNERS**

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 MATT GAUNT 61596 8/16/23  
 TYPE OR PRINT NAME FE # DATE

**PROJECT NOTES:**

**BENCHMARKS:**

- BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27  
N: 186414.14  
E: 483352.17
- BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 926.53  
N: 186982.21  
E: 483286.41
- BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07  
N: 185704.53  
E: 783567.81
- BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66  
N: 186124.24  
E: 483927.22

**REVISIONS / ISSUANCES**

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**DRAINAGE PLAN**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SCALE:	1"=30'
SHEET No.	<b>C7</b>
OF 18 SHEETS	

FILE NAME: I:\03\_217\_003\_reese\_dev\_tsc\undass\mxd\pdp\production\sheet07.dwg DATE PLOTTED: 8/16/2023 10:05:11 AM

03-217-003-REESE DEV TSC

PREPARED BY:



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SUITE 275  
DALLAS, TX 75240  
214-678-9968

PREPARED FOR:  
**RESE REAL ESTATE  
DEVELOPMENT  
PARTNERS**

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PROJECT NOTES:

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BENCHMARK 3:  
HYDRANT - TNH  
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HYDRANT - TNH  
ELEVATION: 927.66  
N: 186124.24  
E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION
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RESE DEV - TSC

PROJECT ADDRESS  
DUNDAS, MN

JOINTING PLAN

PROJECT NUMBER: 03-217-003

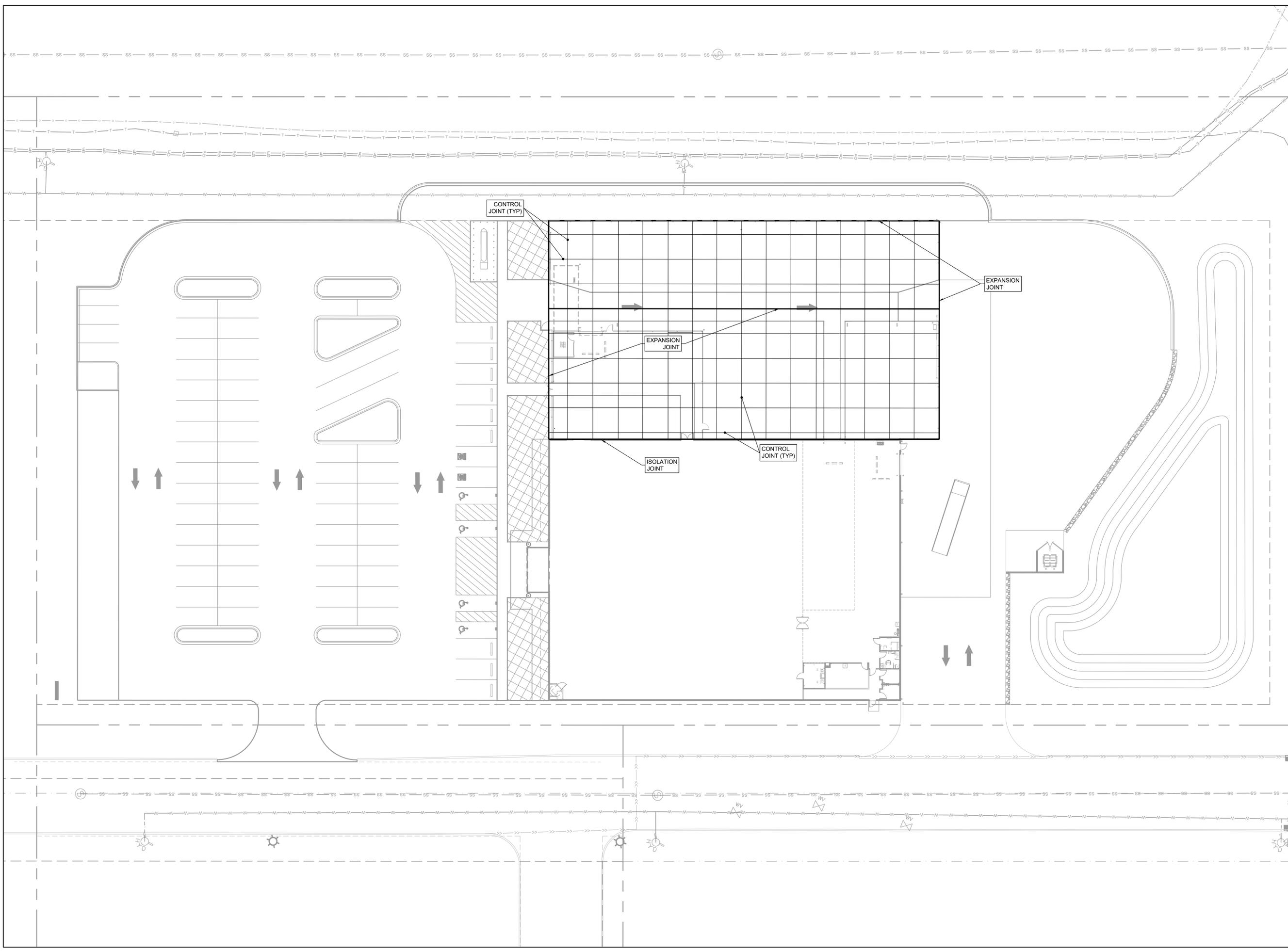
DATE: 8/16/23 SCALE: 1" = 20'

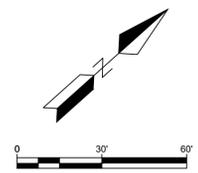
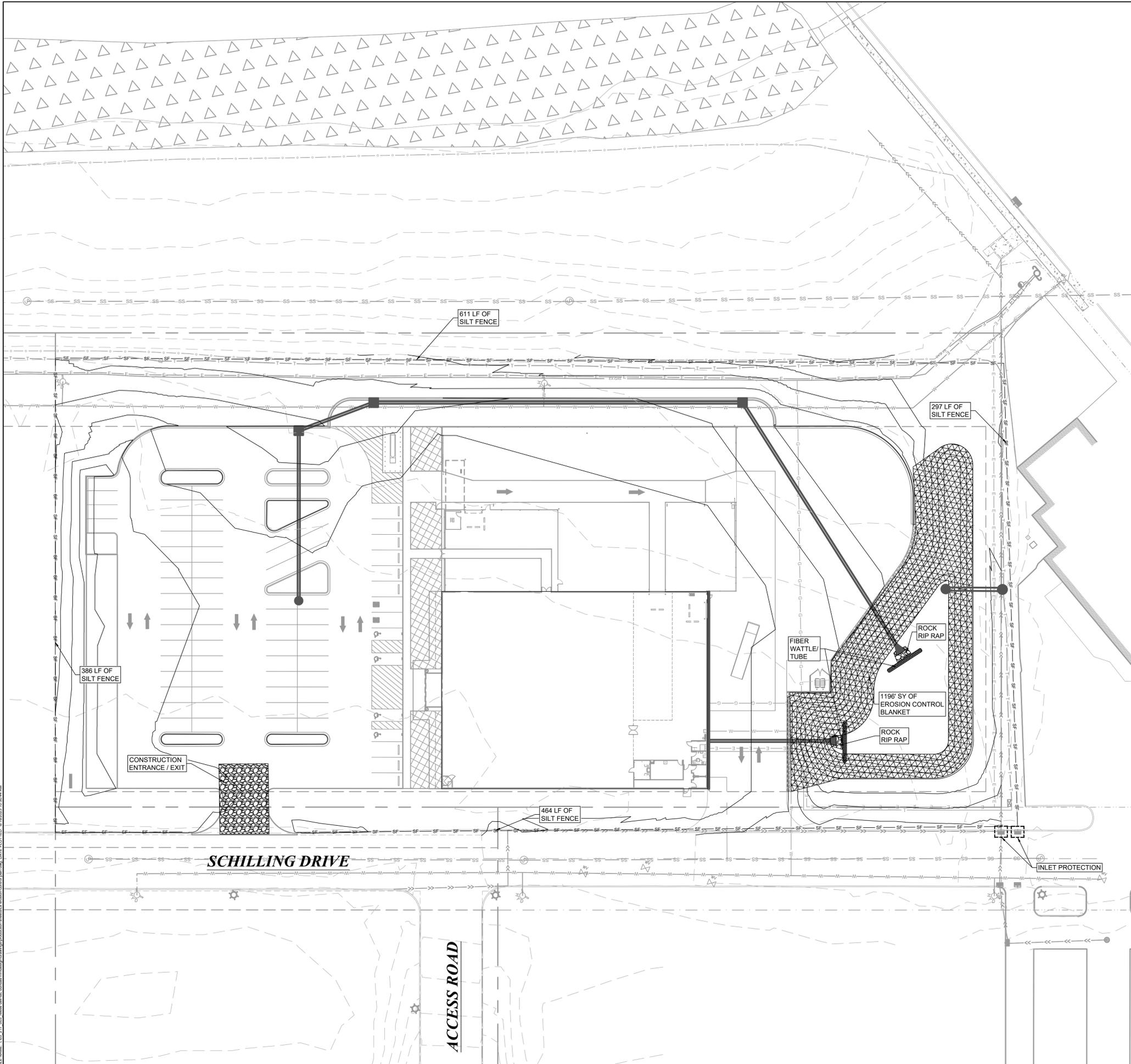
DRAFTED BY: BML SHEET No.

DESIGNED BY: BML **C8**

CHECKED BY: MAG OF 18 SHEETS

03-217-003 - RESE DEV - TSC





**LEGEND**

- SILT FENCE — SF — SF — SF — SF —
- CONSTRUCTION ENTRANCE/EXIT [Pattern]
- EROSION CONTROL BLANKET [Pattern]
- FILTER BAG INLET PROTECTION [Pattern]
- FIBER WATTLE/TUBE [Pattern]
- ROCK RIP-RAP PROTECTION [Pattern]

**NOTE:**

- EROSION CONTROL BLANKET IS TO BE S75BN AS MANUFACTURED BY NORTH AMERICAN GREEN OR EQUIVALENT, EXCEPT WHERE NOTED OTHERWISE.
- INSTALL "FILTER BAG INLET PROTECTION" IN ALL OPEN LID DRAINAGE STRUCTURES. SEE DETAIL - NEXT SHEET.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INDICATE ON THE PLANS THE LOCATION OF THE CONCRETE WASHOUT UPON INSTALLATION. SEE DETAIL - NEXT SHEET.

**GENERAL EROSION & SEDIMENT CONTROL NOTES**

- THE CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAIN THEM UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE OWNER OR THE CITY IN THE EVENT OF ANY UNFORESEEN PROBLEMS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL LANDSCAPE OR VEGETATE DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, STRAW MULCH SHALL BE APPLIED AT A RATE OF THREE (3) TONS PER ACRE OVERTOP EXPOSED AREAS.
- THE CONTRACTOR SHALL CONTROL DUST WITH WATER OR OTHER METHODS APPROVED BY THE OWNER AND THE CITY.
- THE CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE PERIMETER OF ALL SOIL STOCKPILES.
- THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. SEDIMENT TRACKED ON THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS. TO SEE IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- RIPRAP OUTLET PROTECTION SHALL BE INSPECTED AFTER HIGH FLOWS AND SHALL BE REPAIRED AS NEEDED.
- FILTER FABRIC IS TO BE INSTALLED UNDER ALL RIPRAP.
- ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM.

**SCHEDULE FOR EROSION & SEDIMENT CONTROL MEASURES**

- INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN OR AS DECIDED AT THE PRE-CONSTRUCTION MEETING.
- INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLAN. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED WITH A UNIFORM 70% PERENNIAL VEGETATIVE COVER.
- BEGIN EARTHWORK AND GRADING OPERATIONS IF NECESSARY. STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA FOR DISTURBED AREAS AND NO LATER THAN 3 DAYS FOR TEMPORARY STOCKPILES.
- INSTALL UNDERGROUND UTILITIES. INSTALL INLET AND OUTLET PROTECTION AROUND ALL STORM SEWER STRUCTURES AS SHOWN ON THE PLAN. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED WITH PAVING AND A UNIFORM 70% PERENNIAL VEGETATIVE COVER ON ALL AREAS TRIBUTARY TO THE INLETS.
- PAVE PARKING AREA AND ACCESS DRIVES.
- COMPLETE FINAL GRADING AND INSTALL REMAINING PERMANENT SEEDING, PLANTING, & EROSION CONTROL BLANKET.
- ONCE THE SITE IS STABILIZED WITH PAVING AND A UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ACHIEVED ON ALL DISTURBED AREAS, FLUSH ALL STORM SEWERS AND REMOVE REMAINING EROSION CONTROL DEVICES. CLEAN OUT SEDIMENT FROM PIPE OUTLET AREAS IF NECESSARY.
- FILE AN NPDES NOTICE OF TERMINATION (NOT).

PREPARED BY:  
**SEA**  
 13747 MONTFORT DR  
 SUITE 275  
 DALLAS, TX 75240  
 214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE DEVELOPMENT PARTNERS**

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**PROJECT NOTES:**

**BENCHMARKS:**

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E: 483927.22

**REVISIONS / ISSUANCES**

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**EROSION CONTROL PLAN**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
SCALE:	1"=30'
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SHEET No.	<b>C9</b>
OF 18 SHEETS	

FILE NAME: L:\03\_217\_003\_reese\_dev.tsc\erosem\erosem.dwg, DATE PLOTTED: 8/16/2023 10:00:44 AM

03-217-003-REESE DEV-TSC

**EROSION PROTECTION AND SEDIMENT CONTROL GRADATIONS**

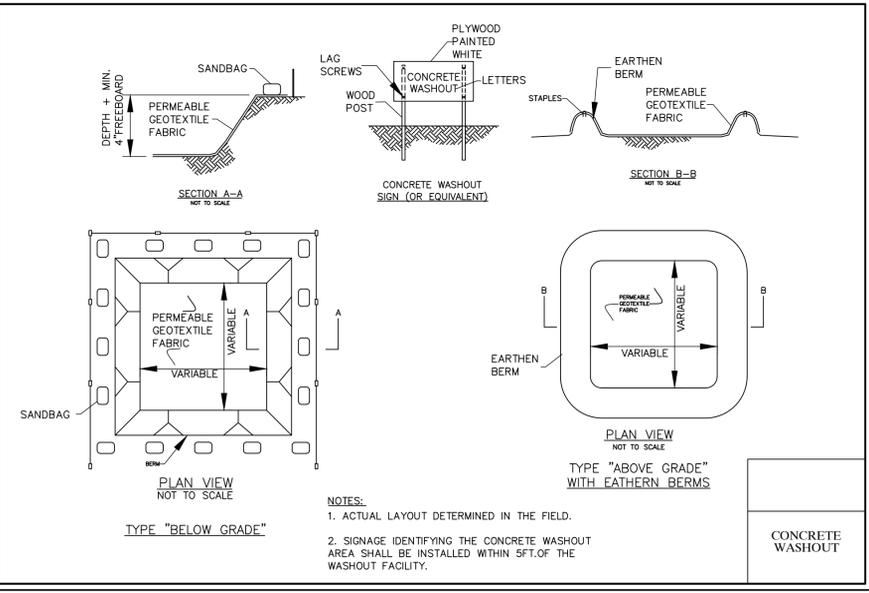
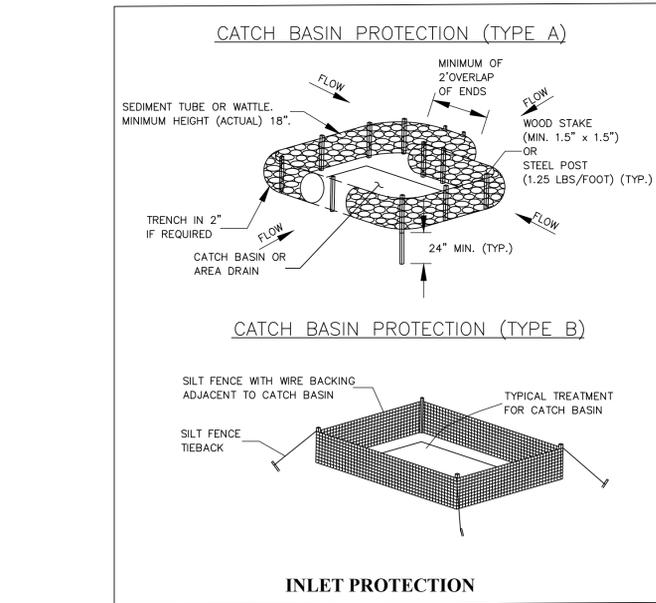
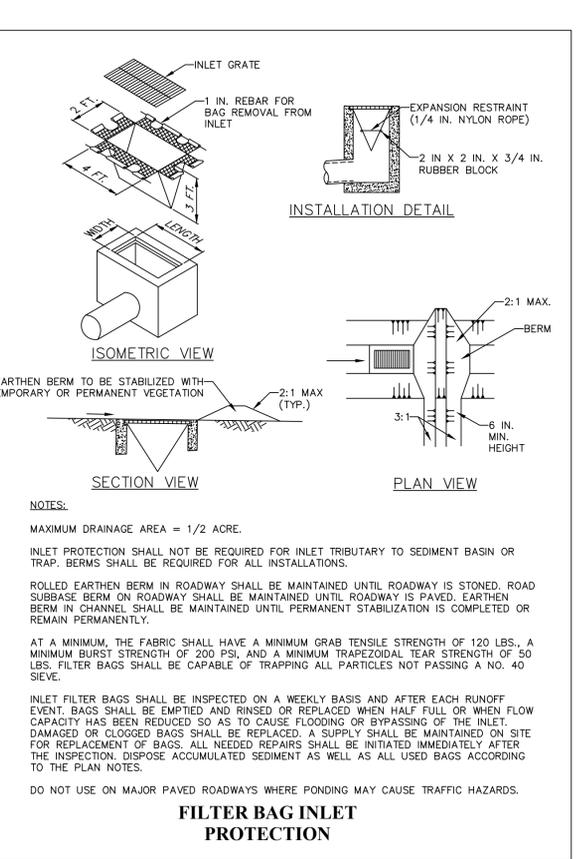
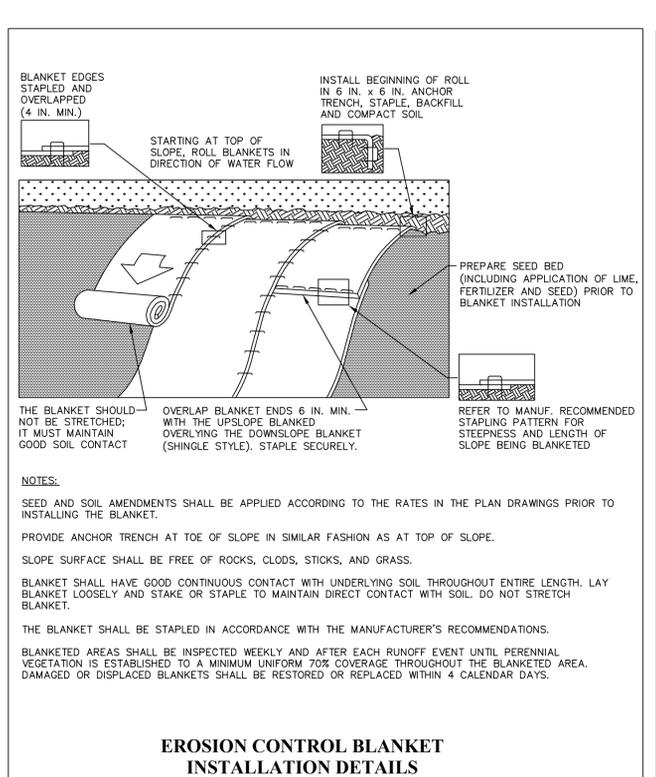
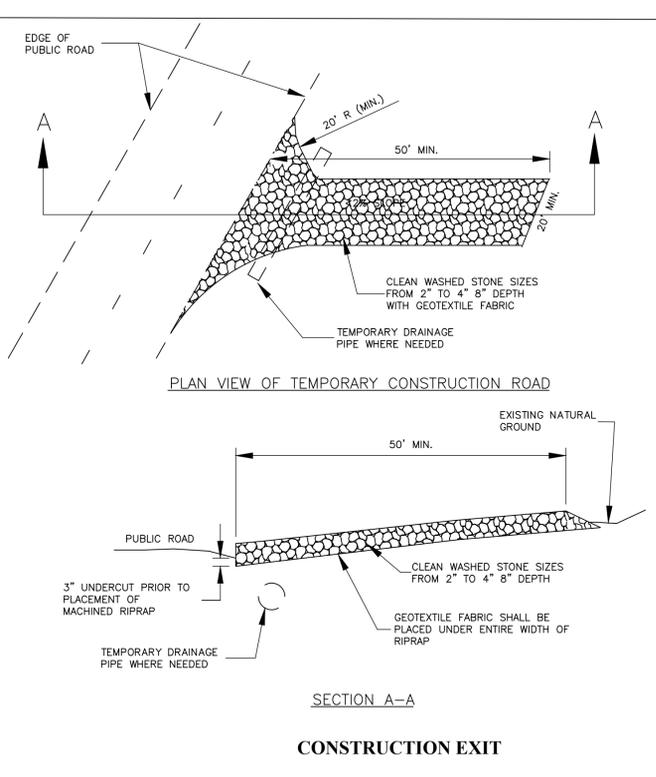
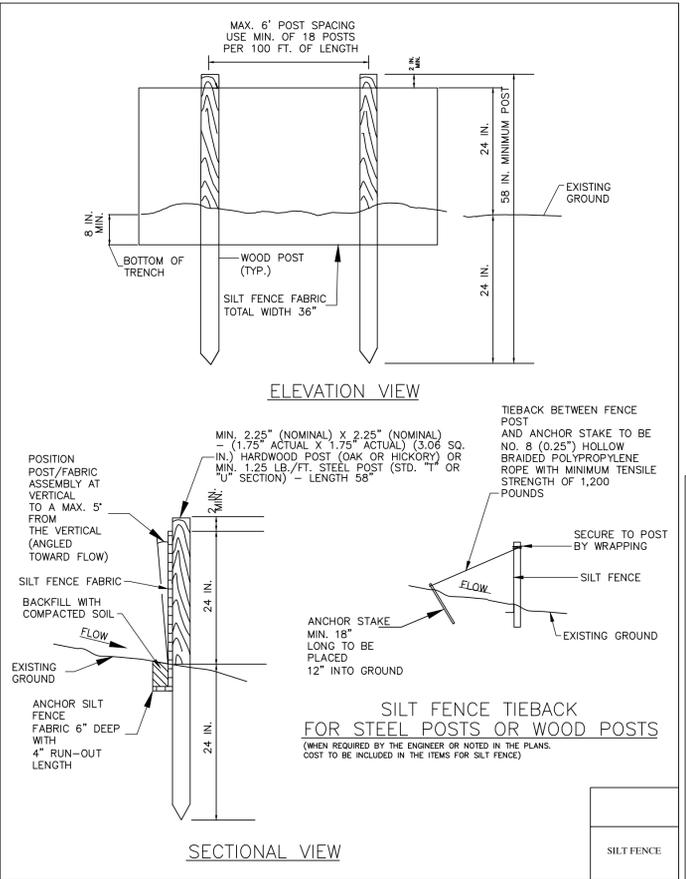
GRAD NO.	PERCENT PASSING ROCK SIZE (LB)													
	1000 <sup>U</sup>	600 <sup>U</sup>	400 <sup>U</sup>	300	170	150 <sup>U</sup>	90	50 <sup>U</sup>	40	12	10	6	3	1
RR-3						100		100			50±20			8±8
RR-4					100			50±20						8±8
RR-5		100												8±8
RR-6			100											8±8
RR-7	100				50±20						8±8			

1/ A MAXIMUM SIZE OF 15 PERCENT OF THE TOTAL TEST SAMPLE BY WEIGHT MAY BE OVERSIZE MATERIAL. EACH OVERSIZE PIECE SHALL NOT EXCEED THE MAXIMUM SIZE OF THE GRADATION BY MORE THAN 20 PERCENT

GRADATION	MAXIMUM ROCK SIZE (LB)*	EQUIVALENT DIAMETER (SPHERICAL) (IN)*	MINIMUM BEDDING THICKNESS (IN)	MINIMUM THICKNESS (IN)	CULVERT DIAMETER (IN)	GRADATION	APRON LENGTH (FT)
	50	10		8	12	RR-3	15
	150	15	6	16	18	RR-3	16
RR-3	50	10		8	24	RR-4	17
RR-4	150	15	6	16	30	RR-4	20
RR-5	400	21	8	22	36	RR-4	22
RR-6	600	24	10	26	48	RR-4	24
RR-7	1000	28	12	30	60	RR-5	26
					72	RR-5	29
					96	RR-5	32

\* Assumes minimum specific gravity of 2.450 and minimum unit weight of 150 lb/ft

**RIP-RAP**



PREPARED BY:  
**SEA**  
13747 MONTFORT DR  
SUITE 275  
DALLAS, TX 75240  
214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE DEVELOPMENT PARTNERS**

1076 SUMMIT DRIVE  
MIDDLETOWN, OHIO 45042  
(513) 849-8015

PRELIMINARY - FOR REVIEW ONLY  
THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF:  
MATT GAUNTT 61596 8/16/23  
TYPE OR PRINT NAME PER DATE

**PROJECT NOTES:**

**BENCHMARKS:**

- BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27  
N: 186414.14  
E: 483352.17
- BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93  
N: 186892.21  
E: 483286.41
- BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07  
N: 185704.53  
E: 763567.81
- BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66  
N: 186124.24  
E: 483927.22

**REVISIONS / ISSUANCES**

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
PROJECT ADDRESS  
DUNDAS, MN

**EROSION CONTROL DETAILS**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SCALE:	NTS
SHEET No.:	<b>C10</b>
OF 18 SHEETS	

FILE NAME: L:\03-217-003-reese-dev-bas-dundas-middletown\production\sheet\03-erosion control details.dwg, DATE PLOTTED: 8/16/2023 10:50:58 AM

03-217-003-REESE DEV-TSC

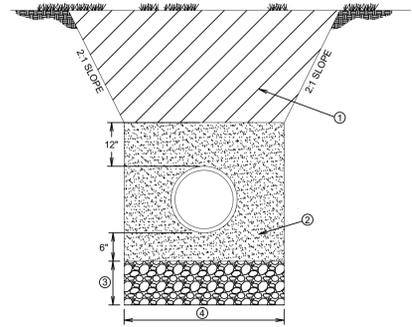
PIPE DIA. (INCHES)	APPROX. WALL THICKNESS (INCHES)	A	B	C	D	E	G	R	SLOPE
12"	5.30	2"	4"	2'-0"	4'-7/8"	6'-7/8"	2'-0"	2"	3:1
15"	7.40	2.25"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2.25"	11" 3:1
18"	9.90	2.25"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2.25"	12" 3:1
21"	12.60	2.25"	9"	2'-11"	3'-2"	6'-1"	3'-0"	2.25"	13" 3:1
24"	15.20	3"	9.5"	3'-7.5"	2'-6"	6'-1.5"	4'-0"	3"	14" 3:1
27"	18.30	3.25"	10"	4'-0"	2'-1.5"	6'-1.5"	4'-4"	3.25"	14.5" 3:1
30"	21.60	3.5"	11'-0"	4'-6"	1'-7.25"	6'-1.75"	5'-0"	3.5"	15" 3:1
33"	25.20	3.75"	11'-1"	4'-10.25"	3'	6'-1"	5'-4"	3.75"	15" 3:1
36"	29.10	4"	1'-3"	5'-3"	2'-10"	6'-1"	6'-0"	4"	20" 3:1
42"	35.80	4.25"	1'-9"	5'-3"	2'-11"	6'-2"	6'-6"	4.25"	22" 3:1
48"	43.50	5"	2'-0"	6'-0"	2'-2"	6'-2"	7'-0"	5"	22" 3:1
54"	52.40	5"	2'-3"	5'-5"	2'-11"	6'-4"	7'-8"	5"	24" 3:1
60"	61.70	6"	2'-11"	5'-0"	3'-3"	6'-3"	8'-0"	6"	24" 3:1
66"	71.40	6"	2'-4"	6'-0"	2'-3"	6'-3"	8'-6"	6"	2:1
72"	81.50	7"	3'-0"	6'-6"	1'-9"	6'-3"	9'-0"	7"	1.86:1
78"	92.10	7"	3'-0"	7'-6"	1'-9"	6'-3"	9'-6"	7"	1.82:1
84"	103.20	8"	3'-0"	7'-6"	1'-9"	6'-3"	10'-0"	8"	1.5:1

\* RADII AS FURNISHED BY THE MANUFACTURER



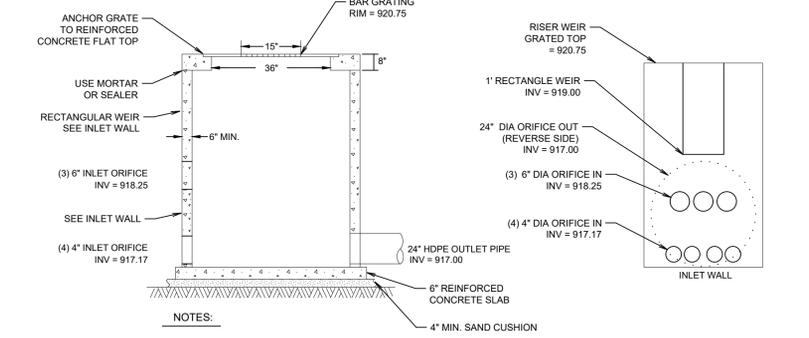
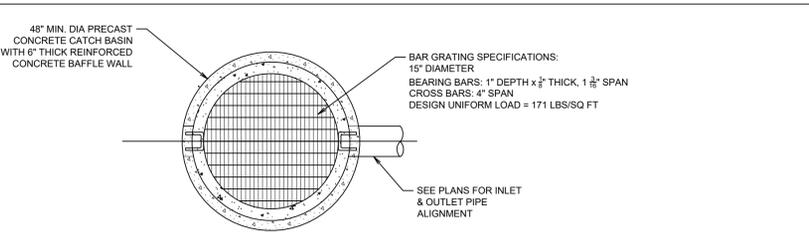
- NOTES:**
- PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF M-170 CLASS III, WALL B REINFORCED CONCRETE PIPE.
  - PRECAST CONCRETE FLARED END SECTION FOR PIPE DIAMETER REQUIRED SHALL BE AS INDICATED ON DETAIL PLAN FOR EACH INDIVIDUAL INSTALLATION.
  - THE END BLOCK SHALL BE PLACED PRIOR TO THE INSTALLATION OF THE FLARED END SECTION.
  - ALL FLARED END SECTIONS 12" AND LARGER SHALL PROVIDE A PROTECTIVE GRATE.

**PRECAST CONCRETE FLARED END SECTION**

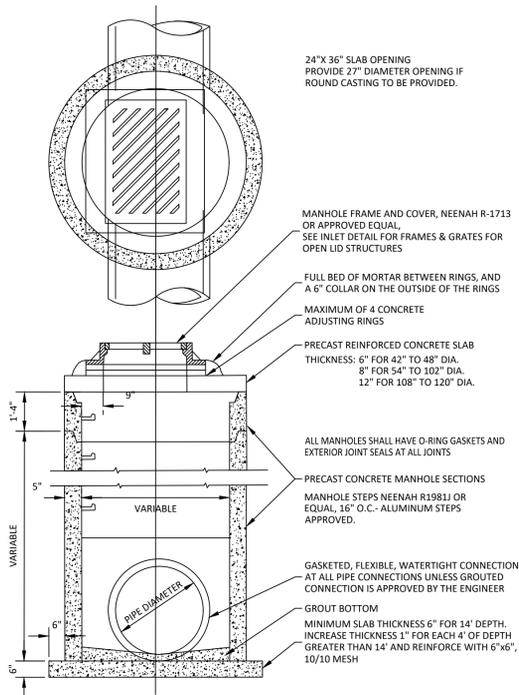


- GRANULAR TRENCH BACKFILL (ASTM D448 NO. 67 OR AS APPROVED BY THE ENGINEER) WITHIN TWO (2) FEET OF EXISTING OR PROPOSED PAVEMENT, SIDEWALK, OR CURB & GUTTER. MACHINE BACKFILL OF EXCAVATED MATERIAL IN OTHER LOCATIONS.
  - GRANULAR BEDDING SHALL CONFORM TO ASTM D-2321, CLASS I MATERIAL, TAMPED INTO PLACE AS SHOWN.
  - UNSTABLE MATERIAL TO BE REMOVED AND REPLACED (WHERE DIRECTED BY THE ENGINEER) WITH GRANULAR MATERIAL AND PAID FOR SEPARATELY.
  - APPROXIMATE TRENCH WIDTHS FOR SEWER & WATER LINES:  
FOR PIPE DIAMETER 8" AND LESS: TRENCH WIDTH = 18"  
FOR PIPE DIAMETER LARGER THAN 8": TRENCH WIDTH = (1.5 x PIPE DIA.) + 8".
- NOTES:**
- THE COST OF ALL GRANULAR BEDDING (ITEM 2) TO BE MERGED WITH THE PIPE.
  - ALL TRENCH BACKFILL SHALL BE MECHANICALLY COMPACTED.
  - TRENCH WIDTHS SHOWN ARE APPROXIMATE. THE ACTUAL TRENCH WIDTHS IN UNSTABLE AND UNSUPPORTED SOILS ARE TO BE BASED ON THE SIZE AND STIFFNESS OF THE PIPE, STIFFNESS OF THE EMBEDMENT AND IN-SITU SOIL, AND DEPTH OF COVER, PER ASTM D-2321.
  - TRENCH WIDTHS FOR ELECTRIC, GAS, AND COMMUNICATION LINES WILL BE AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.

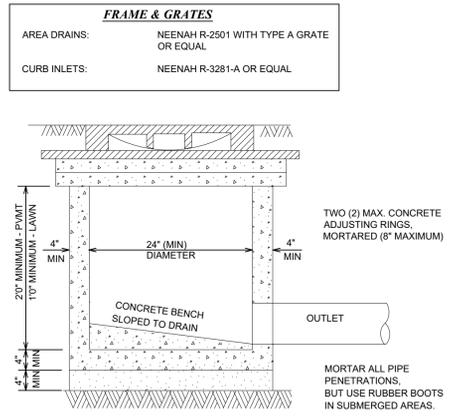
**TYPICAL TRENCH SECTION PVC / HDPE PIPE**



- NOTES:**
- MANHOLES MUST CONFORM TO ASTM C-478.
  - MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
  - NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
  - MORTAR ALL PIPE PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
  - IN 'SUBMERGED' CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED AND INTERIOR MORTARED.
- OUTLET CONTROL STRUCTURE (STM STRC 22) (NTS)**



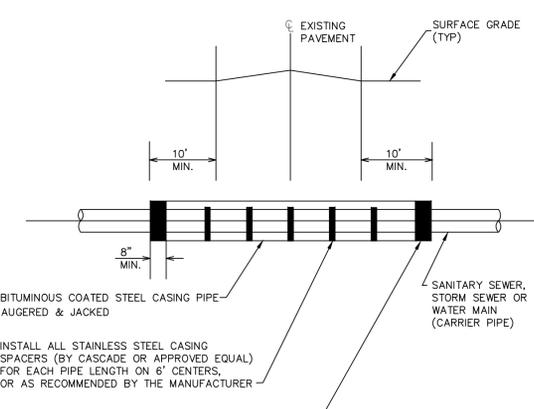
**STORM SEWER MANHOLE**



**NOTE:**

- INLET TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
- INLET MUST CONFORM TO ASTM C-478.
- NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
- MAXIMUM DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN OR CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER TY A MANHOLE.

**INLET**



**CASING PIPE DETAIL**

- INSTALL ALL STAINLESS STEEL CASING SPACERS (BY CASCADE OR APPROVED EQUAL) FOR EACH PIPE LENGTH ON 6' CENTERS, OR AS RECOMMENDED BY THE MANUFACTURER.
- BRICK AND MORTAR BULKHEAD (BOTH ENDS) AS APPROVED BY THE TOWNSHIP ENGINEER, PRIOR TO BACKFILLING OR INSTALL END BOLTS (BY CASCADE OR APPROVED EQUAL).
- NOTES:**
- WATER MAIN CASING SPACERS SHALL BE RESTRAINED IN POSITION.
  - THE INSIDE DIAMETER OF THE CASING PIPE SHALL BE DETERMINED BY CONTRACTOR BUT IN NO CASE SHALL IT BE LESS THAN 8" LARGER THAN THE DIAMETER OF THE CARRIER PIPE TO ALLOW AMPLE SPACE FOR BELLS, AND CARRIER PIPE SLOPE (FOR GRAVITY PIPE).

PREPARED BY:  
**SEA**  
13747 MONTFORT DR  
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DALLAS, TX 75240  
214-678-9968

PREPARED FOR:  
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1076 SUMMIT DRIVE  
MIDDLETOWN, OHIO 45042  
(513) 849-8015

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MATT GAULTT 61596 8/16/23  
TYPE OR PRINT NAME PER DATE

**PROJECT NOTES:**

**BENCHMARKS:**

- BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27  
N: 186414.14  
E: 483352.17
- BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93  
N: 186862.21  
E: 483286.41
- BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07  
N: 185704.53  
E: 763567.81
- BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66  
N: 186124.24  
E: 483927.22

**REVISIONS / ISSUANCES**

No.	DATE	BY	DESCRIPTION
-----	------	----	-------------

**REESE DEV - TSC**  
PROJECT ADDRESS  
DUNDAS, MN

**CONSTRUCTION DETAILS**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SCALE:	NTS
SHEET No.:	<b>C11</b>
OF 18 SHEETS	

PROJECT NOTES:

BENCHMARKS:

- BENCHMARK 1:  
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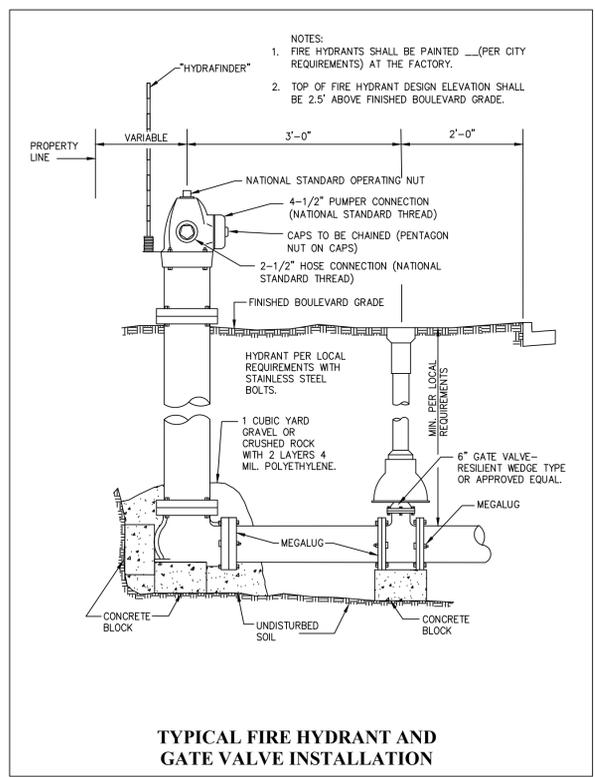
REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

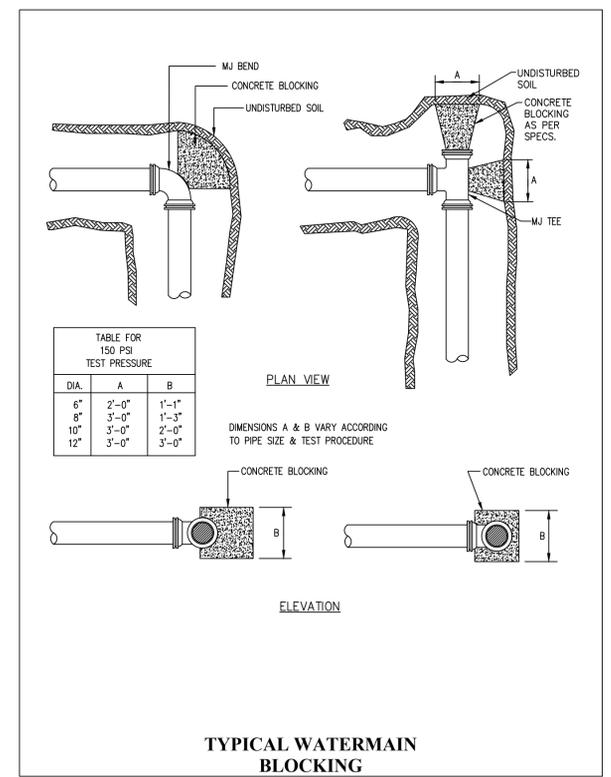
**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**CONSTRUCTION DETAILS**

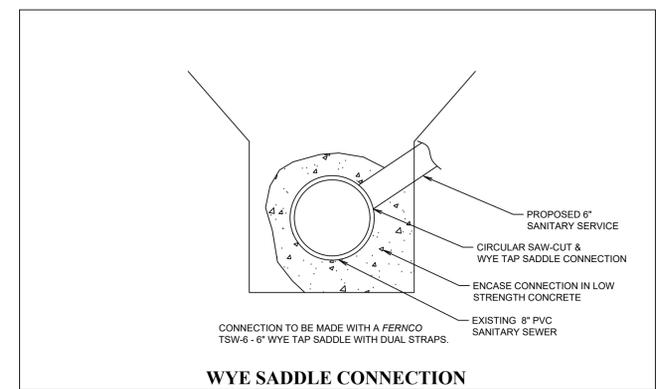
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DATE:	8/16/23
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DRAFTED BY:	BML
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CHECKED BY:	MAG
SHEET No.	<b>C12</b>
OF 18 SHEETS	



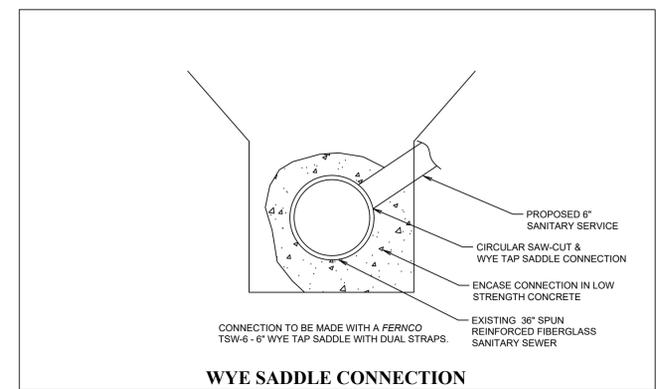
**TYPICAL FIRE HYDRANT AND GATE VALVE INSTALLATION**



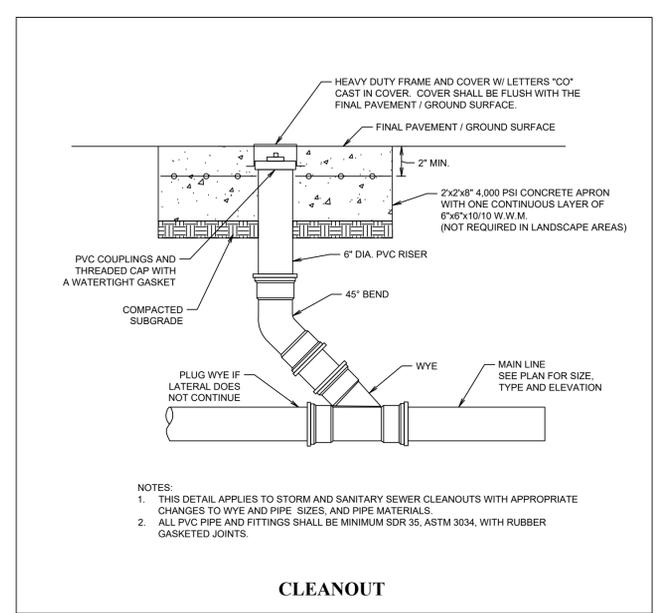
**TYPICAL WATERMAIN BLOCKING**



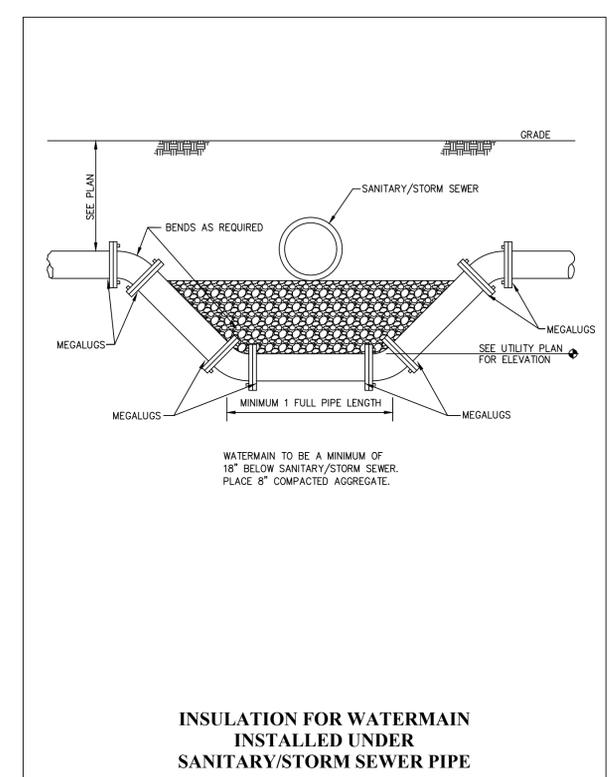
**WYE SADDLE CONNECTION**



**WYE SADDLE CONNECTION**



**CLEANOUT**



**INSULATION FOR WATERMAIN INSTALLED UNDER SANITARY/STORM SEWER PIPE**

PROJECT NOTES:

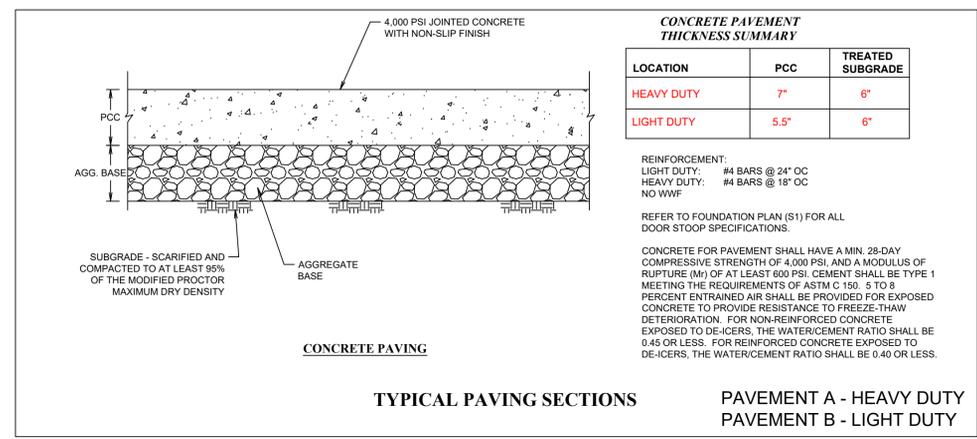
BENCHMARKS:

- BENCHMARK 1:  
 HYDRANT - TNH  
 ELEVATION: 924.27  
 N: 186414.14  
 E: 483352.17
- BENCHMARK 2:  
 HYDRANT - TNH  
 ELEVATION: 928.93  
 N: 185982.21  
 E: 483286.41
- BENCHMARK 3:  
 HYDRANT - TNH  
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- BENCHMARK 4:  
 HYDRANT - TNH  
 ELEVATION: 927.66  
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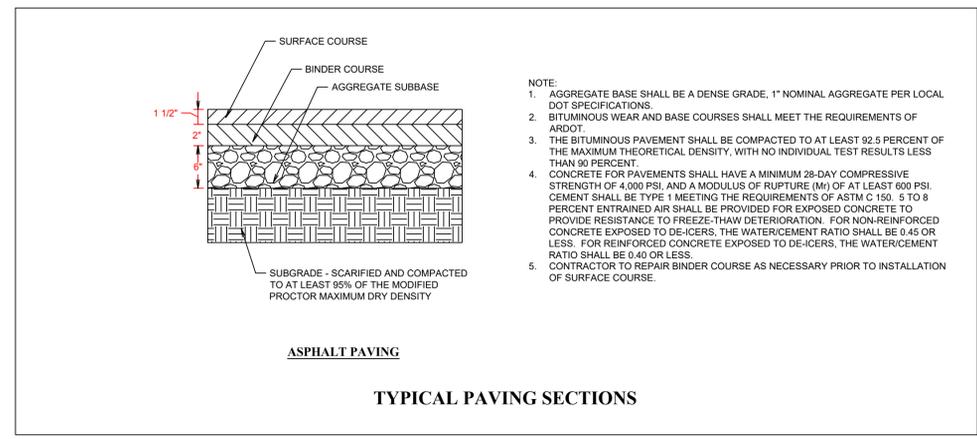
REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

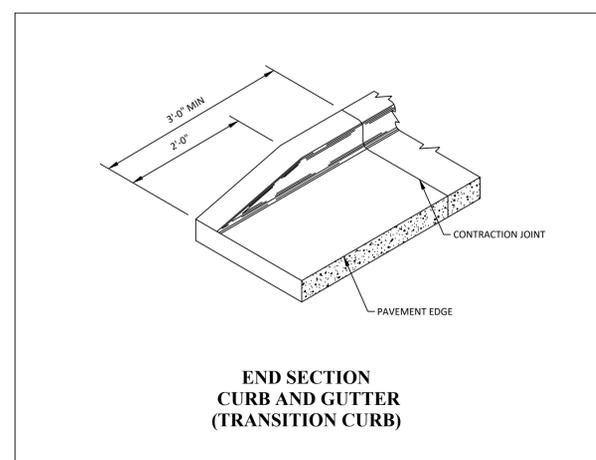
CONSTRUCTION DETAILS



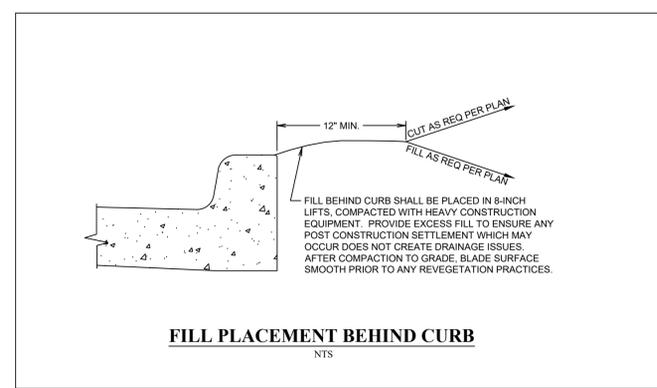
TYPICAL PAVING SECTIONS  
 PAVEMENT A - HEAVY DUTY  
 PAVEMENT B - LIGHT DUTY



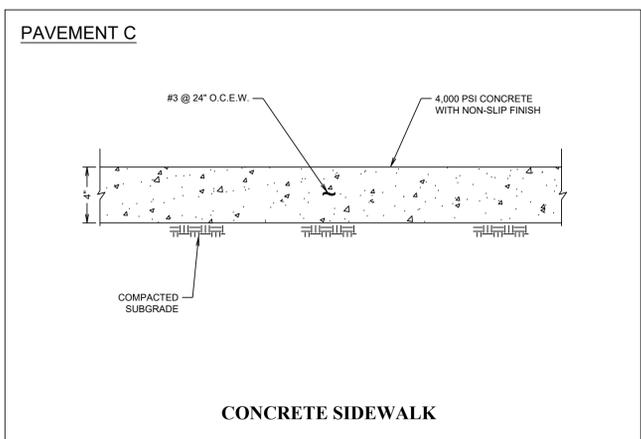
TYPICAL PAVING SECTIONS



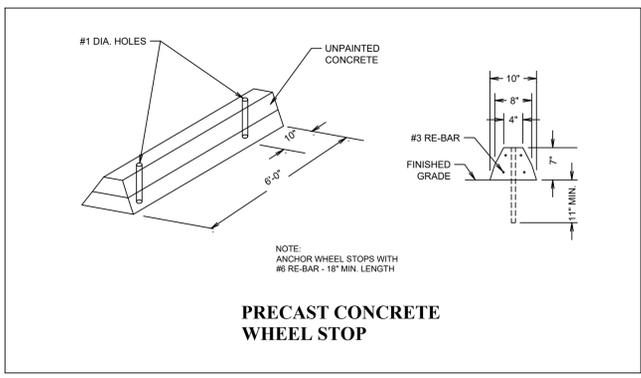
END SECTION CURB AND GUTTER (TRANSITION CURB)



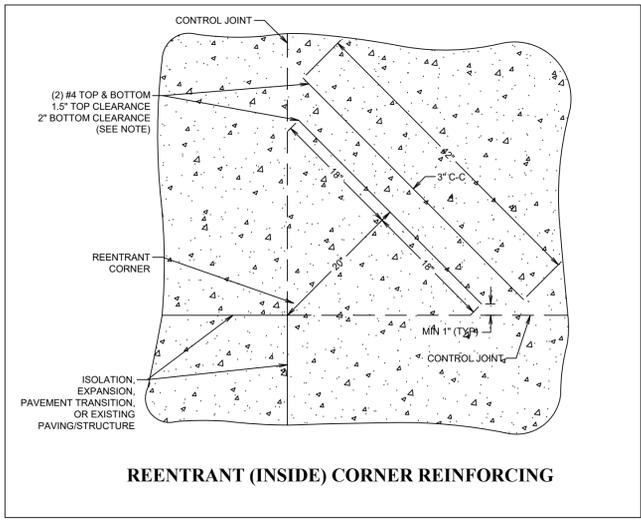
FILL PLACEMENT BEHIND CURB



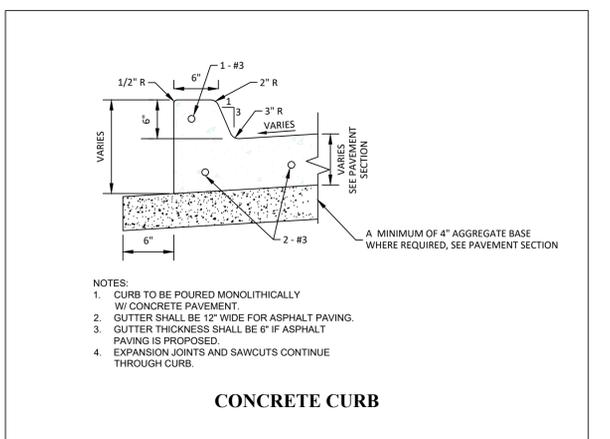
CONCRETE SIDEWALK



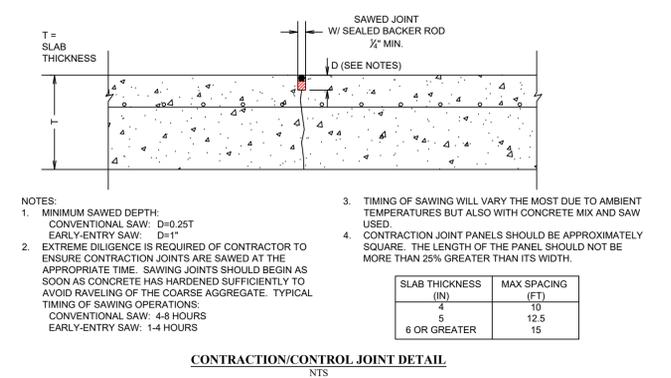
PRECAST CONCRETE WHEEL STOP



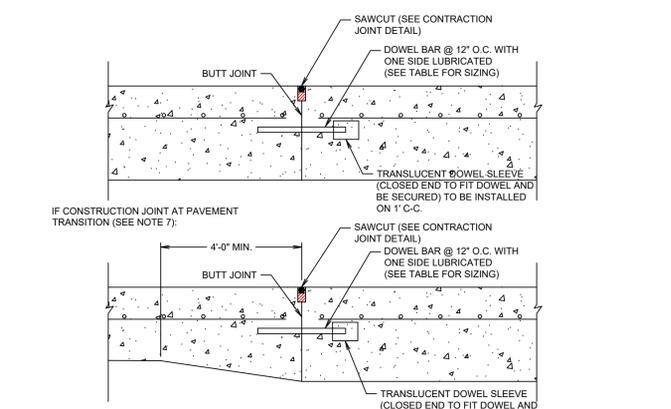
REENTRANT (INSIDE) CORNER REINFORCING



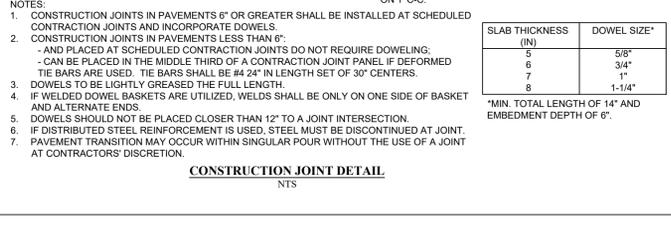
CONCRETE CURB



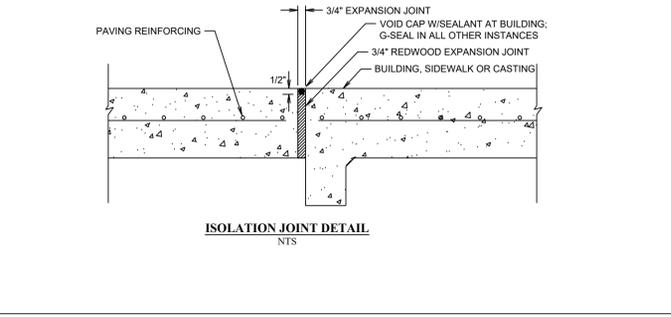
CONTRACTION/CONTROL JOINT DETAIL



CONSTRUCTION JOINT DETAIL



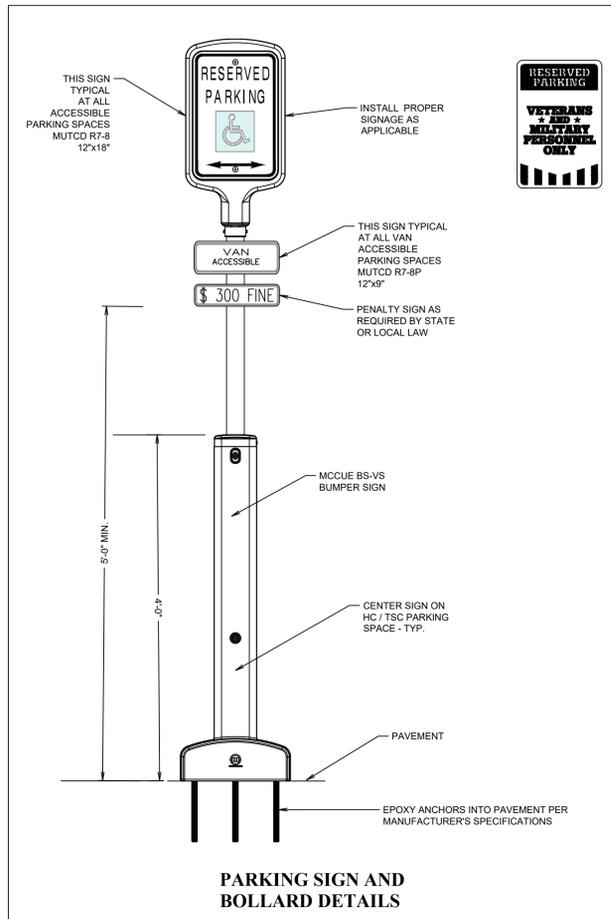
ISOLATION JOINT DETAIL



EXPANSION JOINT DETAIL

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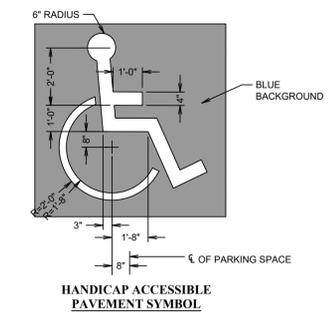
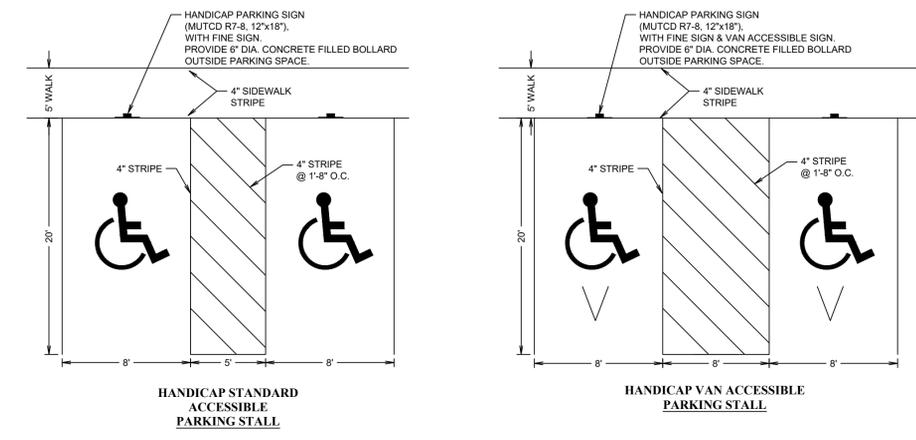
03-217-003-REESE DEV-71.SXD



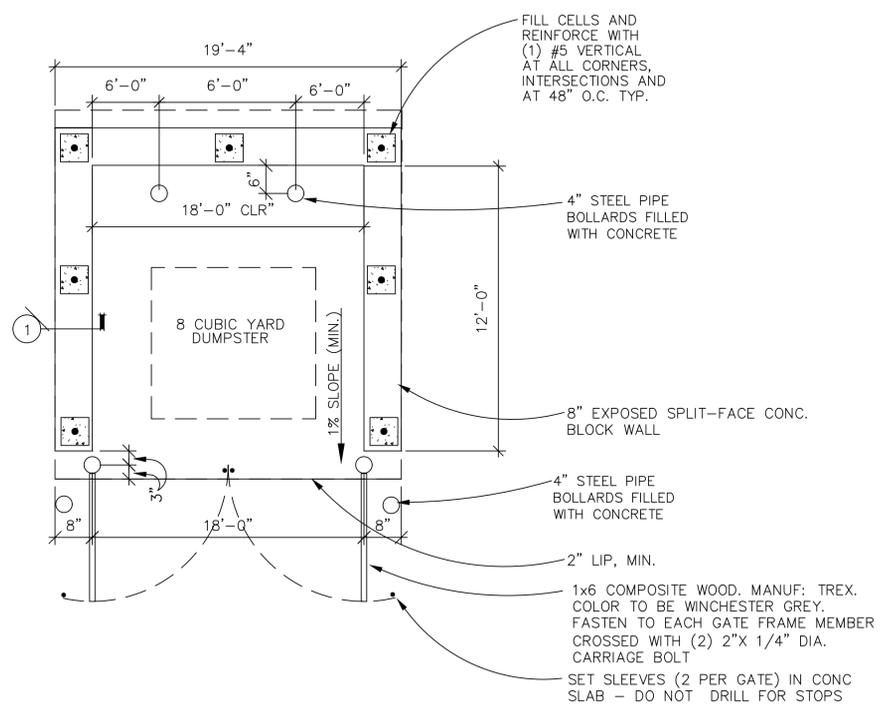
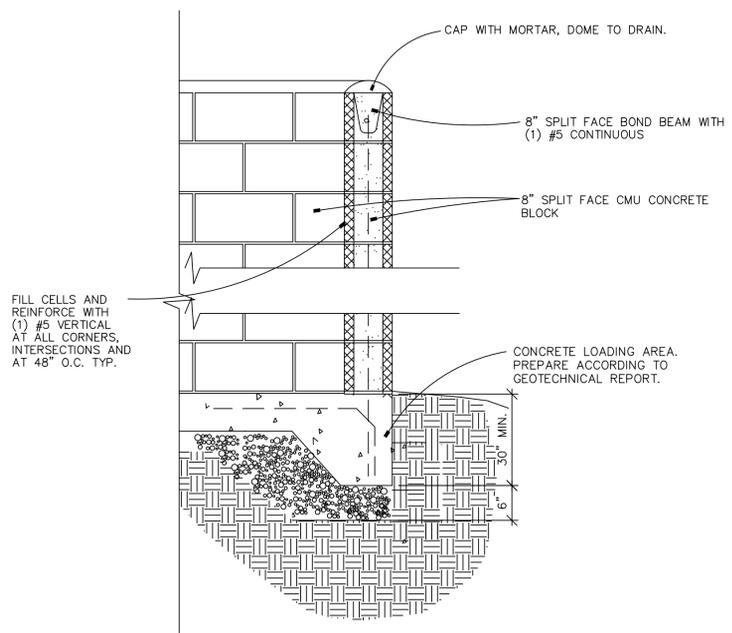
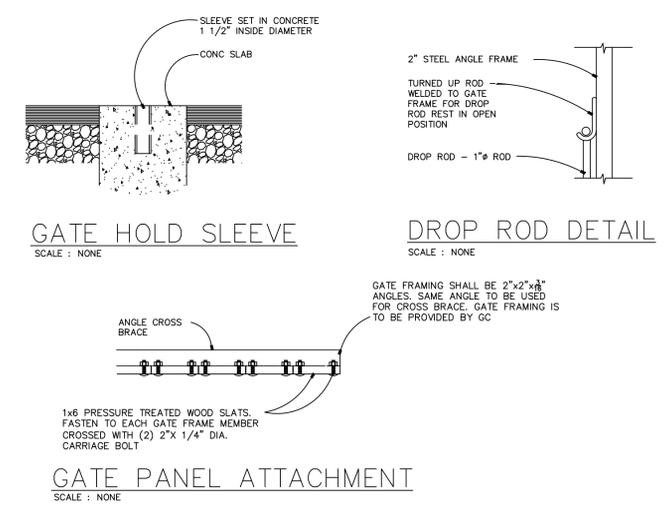
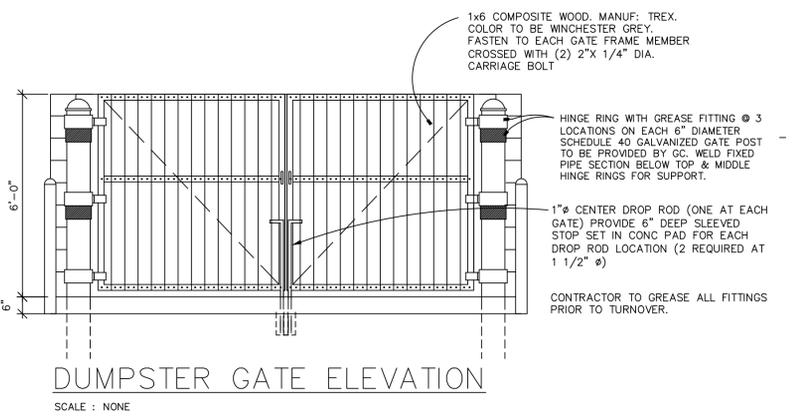
- NOTES:**
- EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REGISTERED SIGN PROMINENTLY POSITIONED IN THE CENTER OF THE SPACE AND A BOLLARD FOR EACH PARKING SPACE OR SPACE USE MUTCD SIGN R7-8 OR APPROVED EQUIV.
  - AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE BELOW THE SYMBOL OF ACCESSIBILITY SHALL STATE "50 TO 500 FINE FOR THE AID."
  - VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE STATE "VAN ACCESSIBLE BELOW THE SYMBOL OF ACCESSIBILITY. USE MUTCD SIGN 8-25B OR APPROVED EQUIV."
  - SIGNS IDENTIFYING ACCESSIBLE PARKING SPACES SHALL BE LOCATED SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
  - THE BOTTOM OF THE LOWEST SIGN OR PLACARD PANEL SHALL BE A MINIMUM OF 6'-6" ABOVE THE SURF OF THE DRIVEWAY WHEN ADJACENT TO AN ACCESSIBLE PATH.
  - REFER TO DETAIL ON THIS SHEET FOR THE ACCESSIBLE SIGN POST DETAIL.



**ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE



**HANDICAP PARKING DETAILS**



**DUMPSTER ENCLOSURE DETAIL**  
SCALE: NONE

PREPARED BY:  
**SEA**  
13747 MONTFORT DR  
SUITE 275  
DALLAS, TX 75240  
214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE DEVELOPMENT PARTNERS**  
1076 SUMMIT DRIVE  
MIDDLETOWN, OHIO 45042  
(513) 849-8015

PRELIMINARY - FOR REVIEW ONLY  
THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF:  
MATT GAUNTT 61596 8/16/23  
TYPE OR PRINT NAME PER DATE

PROJECT NOTES:

**BENCHMARKS:**

BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27  
N: 186414.14  
E: 483352.17

BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93  
N: 186892.21  
E: 483286.41

BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07  
N: 185704.53  
E: 76367.81

BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66  
N: 186124.24  
E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
PROJECT ADDRESS  
DUNDAS, MN

**CONSTRUCTION DETAILS**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
SCALE:	NTS
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SHEET No.:	<b>C14</b>
OF 18 SHEETS	

FILE NAME: L:\03-217-003-ree-se dev-tsc-dundas-mn\design\dwg\production\sheet\c14-construction-details.dwg DATE PLOTTED: 8/16/2023 10:51:21 AM



F:\2023\B2305375\CAD\B2305375.dwg, Geotech, 7/18/2023 6:37:14 AM

FILE NAME: I:\03\_217\_003\_reese\_dev\_borings\borings\production\sheet18 borings.dwg, DATE PLOTTED: 8/16/2023 9:16:35 AM

PREPARED BY:  
**SEA**  
 13747 MONTFORT DR  
 SUITE 275  
 DALLAS, TX 75240  
 214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE  
 DEVELOPMENT  
 PARTNERS**  
 1076 SUMMIT DRIVE  
 MIDDLETOWN, OHIO 45042  
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 PREPARED BY, OR UNDER SUPERVISION OF:  
 MATT GAULTT 61596 8/16/23  
 TYPE OR PRINT NAME FE# DATE

PROJECT NOTES:

**BENCHMARKS:**

BENCHMARK 1:  
 HYDRANT - TNH  
 ELEVATION: 924.27'  
 N: 186414.14  
 E: 483352.17  
 BENCHMARK 2:  
 HYDRANT - TNH  
 ELEVATION: 928.93'  
 N: 185982.21  
 E: 483286.41  
 BENCHMARK 3:  
 HYDRANT - TNH  
 ELEVATION: 929.07'  
 N: 185704.53  
 E: 753567.81  
 BENCHMARK 4:  
 HYDRANT - TNH  
 ELEVATION: 927.66'  
 N: 186124.24  
 E: 483927.22

**REVISIONS / ISSUANCES**

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**BORING LOGS**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
SCALE:	NTS
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SHEET No.	<b>C15</b>
OF 18 SHEETS	

03-217-003-REESE DEV-TSC



### LOG OF BORING

Project Number B2305375 Geotechnical Evaluation Commercial Development Intersection of Schilling Drive and Access Road Dundas, Minnesota		BORING: ST-1			
DRILLER: C. Whitford		LOGGED BY: R. Jett			
SURFACE ELEVATION: 925.8 ft		RIG: 75011			
METHOD: 3 1/4" HSA		SURFACING: Grass			
WEATHER: Sunny		DATE: 07/13/23			
Elev./Depth ft	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
925.4 0.4	SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown to black, moist (TOPSOIL FILL) FILL: SILTY SAND (SM), fine to medium-grained, trace Gravel, organic, contains seams of Clay, dark brown, moist	7-9-4 (12) 12"			
921.3 4.5	FILL: SILTY SAND with GRAVEL (SM), fine to coarse-grained, brown, moist	7-7-8 (15) 15"		6	P200=15%
918.0 7.0	FILL: CLAYEY SAND (SC), trace Gravel, organic, black, moist	40-50/2" (REF) 0"			Drillers noted rocks and hard drilling with poor sample recovery below 7 feet
915.5 9.5	FILL: SILTY SAND (SM), fine to medium-grained, little Gravel, brown, moist	50/0" (REF) 0"			No recovery at 10 feet
913.8 12.0	SANDSTONE, light brown, moist, decomposed, Limestone pieces, hand deformed sample classified as "POORLY GRADED SAND WITH GRAVEL (SP)" (APPARENT BEDROCK)	50/4" (REF) 4"			Auger met refusal at 13.6 feet
912.2 13.6	END OF BORING Boring then backfilled with auger cuttings	50/1" (REF) 1"			Water not observed while drilling.



### LOG OF BORING

Project Number B2305375 Geotechnical Evaluation Commercial Development Intersection of Schilling Drive and Access Road Dundas, Minnesota		BORING: ST-2			
DRILLER: C. Whitford		LOGGED BY: R. Jett			
SURFACE ELEVATION: 925.0 ft		RIG: 75011			
METHOD: 3 1/4" HSA		SURFACING: Grass			
WEATHER: Sunny		DATE: 07/13/23			
Elev./Depth ft	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
924.5 0.5	SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: POORLY GRADED GRAVEL with SAND (GP), crushed Sandstone pieces, light brown, moist	6-14-9 (23) 10"			
922.0 3.0	FILL: CLAYEY SAND (SC), trace Gravel, organic, black, moist	6-3-5 (8) 12"		22	Drillers noted hard drilling below 5 feet
918.0 7.0	FILL: SILTY SAND (SM), fine to medium-grained, little Gravel, brown, moist	14-13-12 (25) 16"		10	Wet at 8 feet
915.5 9.5	SANDSTONE, brown, moist, decomposed, hand deformed sample classified as "SILTY SAND (SM)" (APPARENT BED ROCK)	50/4" (REF) 1"			
911.2 13.8	END OF BORING Boring then backfilled with auger cuttings	50/4" (REF) 2"			Auger met refusal at 13.8 feet Water observed at 8.4 feet while drilling.



### LOG OF BORING

Project Number B2305375 Geotechnical Evaluation Commercial Development Intersection of Schilling Drive and Access Road Dundas, Minnesota		BORING: ST-3			
DRILLER: C. Whitford		LOGGED BY: R. Jett			
SURFACE ELEVATION: 925.0 ft		RIG: 75011			
METHOD: 3 1/4" HSA		SURFACING: Grass			
WEATHER: Sunny		DATE: 07/13/23			
Elev./Depth ft	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
925.0 0.2	SILTY SAND (SM), fine to medium-grained, trace Gravel, brown, moist (TOPSOIL FILL) FILL: SILTY SAND (SM), fine to medium-grained, trace Gravel, organic, black, moist	8-9-8 (17) 14"			
920.6 4.5	FILL: CLAYEY SAND (SC), trace Gravel, brown, moist	3-4-6 (10) 18"		11	Drillers noted hard drilling below 5 feet
917.7 7.4	END OF BORING Boring then backfilled with auger cuttings	50/4" (REF) 0"			Auger met refusal at 7.4 feet Water not observed while drilling.



### LOG OF BORING

Project Number B2305375 Geotechnical Evaluation Commercial Development Intersection of Schilling Drive and Access Road Dundas, Minnesota		BORING: ST-4			
DRILLER: C. Whitford		LOGGED BY: R. Jett			
SURFACE ELEVATION: 924.2 ft		RIG: 75011			
METHOD: 3 1/4" HSA		SURFACING: Grass			
WEATHER: Sunny		DATE: 07/13/23			
Elev./Depth ft	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
923.8 0.3	SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: SILTY SAND (SM), fine to medium-grained, trace Gravel, slightly organic, black, moist	4-9-14 (23) 12"		14	Drillers noted hard drilling with poor sample recovery below 2 feet
919.7 4.5	FILL: Crushed rock, light gray	29-50/5" (REF) 4"			
917.2 7.0	SANDSTONE, light brown, moist, decomposed, hand deformed sample classified as "POORLY GRADED SAND (SP)" (APPARENT BEDROCK)	50/3" (REF) 2"			
912.0 12.2	END OF BORING Boring then backfilled with auger cuttings	50/2" (REF) 2"			Water observed at 12.0 feet while drilling.



### LOG OF BORING

Project Number B2305375 Geotechnical Evaluation Commercial Development Intersection of Schilling Drive and Access Road Dundas, Minnesota		BORING: ST-5			
DRILLER: C. Whitford		LOGGED BY: R. Jett			
SURFACE ELEVATION: 925.3 ft		RIG: 75011			
METHOD: 3 1/4" HSA		SURFACING: Grass			
WEATHER: Sunny		DATE: 07/13/23			
Elev./Depth ft	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
924.7 0.6	SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: SILTY SAND (SM), fine to medium-grained, trace Gravel, brown, moist	6-7-10 (17) 10"		9	
920.8 4.5	FILL: POORLY GRADED SAND with GRAVEL (SP), fine to coarse-grained, brown, moist	6-36-8 (44) 10"			Drillers noted hard drilling with poor sample recovery below 5 feet
915.3 10.0	SANDSTONE, light brown, moist, decomposed, Contains seams of Clay, hand deformed sample classified as "POORLY GRADED SAND (SP)" (APPARENT BEDROCK)	50/0" (REF) 0"		8	No recovery at 7 feet
910.8 14.5	END OF BORING Boring then backfilled with auger cuttings	41-50/4" (REF) 6"			
		39-50/4" (REF) 6"			Water observed at 7.5 feet while drilling.



### LOG OF BORING

Project Number B2305375 Geotechnical Evaluation Commercial Development Intersection of Schilling Drive and Access Road Dundas, Minnesota		BORING: ST-6			
DRILLER: C. Whitford		LOGGED BY: R. Jett			
SURFACE ELEVATION: 925.8 ft		RIG: 75011			
METHOD: 3 1/4" HSA		SURFACING: Grass			
WEATHER: Sunny		DATE: 07/13/23			
Elev./Depth ft	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
924.8 1.1	SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: POORLY GRADED GRAVEL with SAND (GP), fine to coarse-grained, light brown, moist	19-29-17 (46) 8"			Drillers noted hard drilling with poor sample recovery below 2 feet
921.3 4.5	FILL: CLAYEY SAND (SC), trace Gravel, organic, black, moist	4-5-5 (10) 12"		19	OC=5%
918.8 7.0	FILL: CLAYEY SAND (SC), trace Gravel, brown, moist	19-10-5 (15) 5"			
916.3 9.5	SANDSTONE, light brown, moist, decomposed, Sandstone lenses, hand deformed sample classified as "CLAYEY SAND and SILTY SAND (SC and SM)" (APPARENT BEDROCK)	3-4-4 (8) 12"			
914.8 11.0	END OF BORING Boring then backfilled with auger cuttings				Water not observed while drilling.

PREPARED BY:



13747 MONTFORT DR  
SUITE 275  
DALLAS, TX 75240  
214-678-9968

PREPARED FOR:

**REESE REAL ESTATE  
DEVELOPMENT  
PARTNERS**

1076 SUMMIT DRIVE  
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MATT GAUNTT 61596 8/16/23  
TYPE OR PRINT NAME PER DATE

PROJECT NOTES:

BENCHMARKS:

- BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27'  
N: 186414.14  
E: 483352.17
- BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93'  
N: 186982.21  
E: 483286.41
- BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07'  
N: 185704.53  
E: 483567.81
- BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66'  
N: 186124.24  
E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION
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**REESE DEV - TSC**

PROJECT ADDRESS  
DUNDAS, MN

**BORING LOGS**

PROJECT NUMBER: 03-217-003

DATE: 8/16/23 SCALE: NTS

DRAFTED BY: BML SHEET No. C16

DESIGNED BY: BML OF 18 SHEETS

CHECKED BY: MAG

03-217-003-REESE DEV-71.SCD

FILE NAME: L:\03\_217\_003\_reese\_dev\_bor\_logs\bor\_logs.dwg, DATE PLOTTED: 8/16/2023 9:16:46 AM



### LOG OF BORING

Project Number B2305375		BORING: ST-7				
Geotechnical Evaluation		LOCATION: See attached sketch				
Commercial Development		DATUM: NAD 1983 HARN Adj MN Rice (US Feet)				
Intersection of Schilling Drive and Access Road		NORTHING: 185920 EASTING: 483404				
Dundas, Minnesota		START DATE: 07/13/23 END DATE: 07/13/23				
DRILLER: C. Whitford	LOGGED BY: R. Jett	SURFACING: Grass WEATHER: Sunny				
SURFACE ELEVATION: 924.4 ft	RIG: 75011	METHOD: 3 1/4" HSA				
Elev./Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
924.2 0.3		SILTY SAND (SM), fine to medium-grained, trace Gravel, brown, moist (TOPSOIL FILL) FILL: SILTY SAND with GRAVEL (SM), fine to coarse-grained, organic layers, light brown, moist	9-8-9 (17) 8"		10	Drillers noted hard drilling with poor sample recovery below 2 feet
			8-10-17 (27) 10"			
			13-15-17 (32) 0"			No recovery at 7 feet
914.9 9.5		SANDSTONE, light brown, moist, decomposed, hand deformed sample classified as "SILTY SAND and CLAYEY SAND" (SM and SC) (APPARENT BEDROCK)	19-14-28 (42) 12"			Water not observed while drilling.
913.4 11.0		END OF BORING				Boring then backfilled with auger cuttings



### LOG OF BORING

Project Number B2305375		BORING: ST-8				
Geotechnical Evaluation		LOCATION: See attached sketch				
Commercial Development		DATUM: NAD 1983 HARN Adj MN Rice (US Feet)				
Intersection of Schilling Drive and Access Road		NORTHING: 186058 EASTING: 483501				
Dundas, Minnesota		START DATE: 07/13/23 END DATE: 07/13/23				
DRILLER: C. Whitford	LOGGED BY: R. Jett	SURFACING: Grass WEATHER: Sunny				
SURFACE ELEVATION: 923.3 ft	RIG: 75011	METHOD: 3 1/4" HSA				
Elev./Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
921.3 2.0		SILTY SAND (SM), fine to coarse-grained, little Gravel, dark brown, moist (TOPSOIL FILL)	4-6-10 (16) 12"		15	OC=4%
		FILL: SANDY LEAN CLAY (CL), trace Gravel, slightly organic, black, moist	10-4-9 (13) 12"			
916.3 7.0		FILL: SILTY SAND with GRAVEL (SM), fine to coarse-grained, brown, wet	4-9-14 (23) 4"			Drillers noted hard drilling with poor sample recovery below 7 feet
913.1 10.2		END OF BORING	50/2" (REF) 0"			No recovery at 10 feet Water observed at 7.0 feet while drilling.
						Boring then backfilled with auger cuttings



### LOG OF BORING

Project Number B2305375		BORING: ST-9				
Geotechnical Evaluation		LOCATION: See attached sketch				
Commercial Development		DATUM: NAD 1983 HARN Adj MN Rice (US Feet)				
Intersection of Schilling Drive and Access Road		NORTHING: 186168 EASTING: 483600				
Dundas, Minnesota		START DATE: 07/13/23 END DATE: 07/13/23				
DRILLER: C. Whitford	LOGGED BY: R. Jett	SURFACING: Grass WEATHER: Sunny				
SURFACE ELEVATION: 922.6 ft	RIG: 75011	METHOD: 3 1/4" HSA				
Elev./Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
922.3 0.3		SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: SILTY SAND (SM), fine to medium-grained, little Gravel, black, moist	6-8-9 (17) 10"			Drillers noted hard drilling below 2 feet
918.1 4.5		FILL: CLAYEY SAND (SC), trace Gravel, brown, moist	6-8-8 (16) 12"			
914.6 8.0		SANDSTONE, light brown to orangish brown, moist, decomposed, hand deformed sample classified as "SILTY SAND" (SM) (APPARENT BEDROCK)	7-8-7 (15) 18"		14	P200=23%
911.6 11.0		END OF BORING	4-8-14 (22) 18"			Water not observed while drilling.
						Boring then backfilled with auger cuttings



### LOG OF BORING

Project Number B2305375		BORING: ST-10				
Geotechnical Evaluation		LOCATION: See attached sketch				
Commercial Development		DATUM: NAD 1983 HARN Adj MN Rice (US Feet)				
Intersection of Schilling Drive and Access Road		NORTHING: 186243 EASTING: 483678				
Dundas, Minnesota		START DATE: 07/13/23 END DATE: 07/13/23				
DRILLER: C. Whitford	LOGGED BY: R. Jett	SURFACING: Grass WEATHER: Sunny				
SURFACE ELEVATION: 921.9 ft	RIG: 75011	METHOD: 3 1/4" HSA				
Elev./Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
921.4 0.5		SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: SILTY SAND with GRAVEL (SM), fine to coarse-grained, brown, moist	6-8-9 (17) 5"		5	Drillers noted hard drilling below 2 feet
917.4 4.5		SANDSTONE, light brown to white, moist, decomposed, Limestone pieces, hand deformed sample classified as "POORLY GRADED SAND" (SP) (APPARENT BEDROCK)	50/2" (REF) 2"			
			50/4" (REF) 4"			
912.0 9.9		END OF BORING	50/5" (REF) 3"			Water not observed while drilling.
						Boring then backfilled with auger cuttings



### LOG OF BORING

Project Number B2305375		BORING: ST-11				
Geotechnical Evaluation		LOCATION: See attached sketch				
Commercial Development		DATUM: NAD 1983 HARN Adj MN Rice (US Feet)				
Intersection of Schilling Drive and Access Road		NORTHING: 186217 EASTING: 483763				
Dundas, Minnesota		START DATE: 07/13/23 END DATE: 07/13/23				
DRILLER: C. Whitford	LOGGED BY: R. Jett	SURFACING: Grass WEATHER: Sunny				
SURFACE ELEVATION: 923.5 ft	RIG: 75011	METHOD: 3 1/4" HSA				
Elev./Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
923.1 0.3		SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: SILTY SAND with GRAVEL (SM), fine to coarse-grained, trace Gravel, contains seams of Clay, brown, moist	4-6-7 (13) 13"		8	P200=25%
919.0 4.5		FILL: POORLY GRADED SAND with SILT and GRAVEL (SP-SM), fine to coarse-grained, light brown, moist	11-9-17 (26) 14"			
			50/1" (REF) 0"			No recovery at 7 feet
			50/4" (REF) 0"			No recovery at 10 feet
911.2 12.3		END OF BORING	50/3" (REF) 0"			No recovery at 12 feet Water not observed while drilling.
						Boring then backfilled with auger cuttings



### LOG OF BORING

Project Number B2305375		BORING: ST-12				
Geotechnical Evaluation		LOCATION: See attached sketch				
Commercial Development		DATUM: NAD 1983 HARN Adj MN Rice (US Feet)				
Intersection of Schilling Drive and Access Road		NORTHING: 186125 EASTING: 483797				
Dundas, Minnesota		START DATE: 07/13/23 END DATE: 07/13/23				
DRILLER: C. Whitford	LOGGED BY: R. Jett	SURFACING: Grass WEATHER: Sunny				
SURFACE ELEVATION: 924.7 ft	RIG: 75011	METHOD: 3 1/4" HSA				
Elev./Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Blows (N-Value) Recovery	q <sub>s</sub> tsf	MC %	Tests or Remarks
924.2 0.6		SILTY SAND (SM), fine to medium-grained, trace Gravel, dark brown, moist (TOPSOIL FILL) FILL: SILTY SAND (SM), fine to coarse-grained, little Gravel, brown, moist	7-10-27 (37) 4"			
920.2 4.5		FILL: SILTY SAND with GRAVEL (SM), fine to coarse-grained, brown, moist	7-7-7 (14) 10"		5	Drillers noted hard drilling with poor sample recovery below 5 feet P200=14%
917.7 7.0		SANDSTONE, light brown, moist to wet, decomposed, Limestone pieces, hand deformed sample classified as "POORLY GRADED SAND WITH SILT" (SP-SM) (APPARENT BEDROCK)	50/5" (REF) 4"			
			50/5" (REF) 4"			
912.6 12.1		END OF BORING	50/1" (REF) 0"			No recovery at 12 feet Water observed at 10.0 feet while drilling.
						Boring then backfilled with auger cuttings

PREPARED BY:  
**SEA**  
13747 MONTFORT DR  
SUITE 275  
DALLAS, TX 75240  
214-678-9968

PREPARED FOR:  
**REESE REAL ESTATE DEVELOPMENT PARTNERS**

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MIDDLETOWN, OHIO 45042  
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MATT GAUNTT 61596 8/16/23  
TYPE OR PRINT NAME FE# DATE

PROJECT NOTES:

BENCHMARKS:

BENCHMARK 1:  
HYDRANT - TNH  
ELEVATION: 924.27  
N: 186414.14  
E: 483352.17  
BENCHMARK 2:  
HYDRANT - TNH  
ELEVATION: 928.93  
N: 185982.21  
E: 483286.41  
BENCHMARK 3:  
HYDRANT - TNH  
ELEVATION: 929.07  
N: 185104.53  
E: 763567.81  
BENCHMARK 4:  
HYDRANT - TNH  
ELEVATION: 927.66  
N: 186124.24  
E: 483927.22

REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
PROJECT ADDRESS  
DUNDAS, MN

**BORING LOGS**

PROJECT NUMBER: 03-217-003  
DATE: 8/16/23 SCALE: NTS  
DRAFTED BY: BML SHEET No. C17  
DESIGNED BY: BML OF 18 SHEETS  
CHECKED BY: MAG

FILE NAME: I:\03\_217\_003\_reese\_dev\_borings\mxd\borings\borings.dwg, DATE PLOTTED: 8/16/2023 9:16:56 AM

03-217-003-REESE DEV-71.SD

PROJECT NOTES:

BENCHMARKS:

BENCHMARK 1: HYDRANT - TNH ELEVATION: 924.27' N: 186414.14 E: 483352.17	BENCHMARK 2: HYDRANT - TNH ELEVATION: 928.93' N: 186862.21 E: 483286.41	BENCHMARK 3: HYDRANT - TNH ELEVATION: 929.07' N: 185704.53 E: 763567.81	BENCHMARK 4: HYDRANT - TNH ELEVATION: 927.66' N: 186124.24 E: 483927.22
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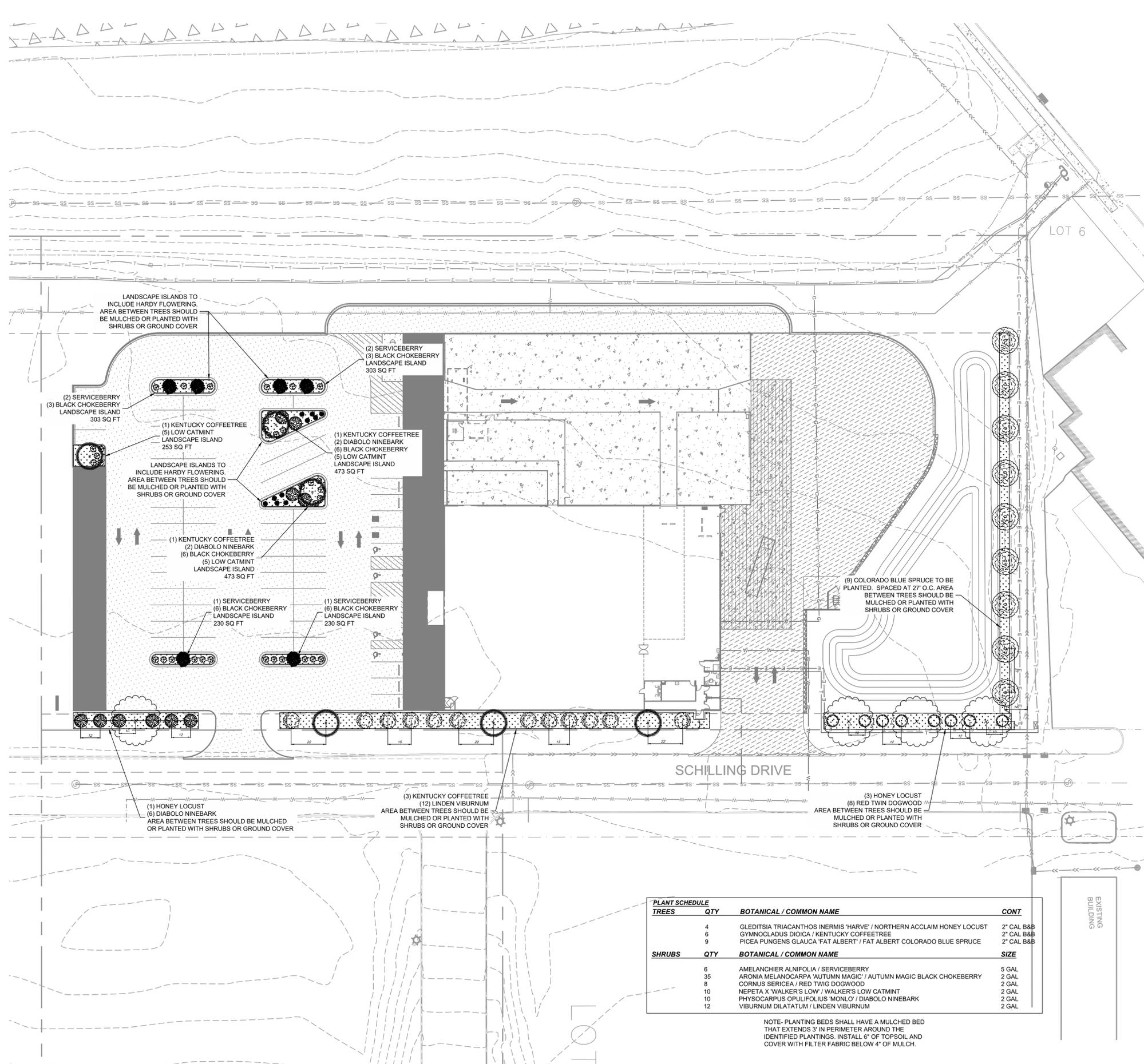
REVISIONS / ISSUANCES

No.	DATE	BY	DESCRIPTION

**REESE DEV - TSC**  
 PROJECT ADDRESS  
 DUNDAS, MN

**LANDSCAPE PLAN**

PROJECT NUMBER:	03-217-003
DATE:	8/16/23
SCALE:	1"=30'
DRAFTED BY:	BML
DESIGNED BY:	BML
CHECKED BY:	MAG
SHEET No.	<b>L1</b>
OF 18 SHEETS	



**LEGEND**

- NORTHERN ACCLAIM HONEY LOCUST (Symbol: X)
- KENTUCKY COFFEETREE (Symbol: X in circle)
- FAT ALBERT COLORADO BLUE SPRUCE (Symbol: X in circle with dots)
- SERVICEBERRY (Symbol: Solid black circle)
- LINDEN VIBURNUM (Symbol: Circle with dots)
- RED TWIG DOGWOOD (Symbol: Circle with dots)
- DIABOLO NINEBARK (Symbol: Circle with dots)
- AUTUMN MAGIC BLACK CHOKEBERRY (Symbol: Circle with dots)
- WALKER'S LOW CATMINT (Symbol: Solid black dot)

**STREET TREES**

- A. TREES ARE TO BE PURCHASED ONLY FROM NURSERIES IN NORTHERN REGIONS WHICH ARE COMPATIBLE WITH THE CLIMATE OF THE CITY OF DUNDAS. ALL PLANT MATERIAL SHALL BE TRUE TO NAME AND TYPE, AND FIRST-CLASS REPRESENTATIVES OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES, BE HEALTHY, VIGOROUS PLANTS FREE FROM DISFIGUREMENTS. EITHER BARE ROOT OR BALLED AND BURLAPED TREES ARE ACCEPTABLE. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
- B. THE STREET TREES SHALL BE CENTERED BETWEEN THE BACK OF THE CURB AND THE STREET SIDE OF THE EXISTING OR FUTURE SIDEWALKS. THE TREES SHALL ALSO BE LOCATED FIVE (5) FEET FROM ALL SEWER AND WATER LATERALS, AND TEN (10) FEET FROM DRIVEWAYS, LIGHT POLES AND FIRE HYDRANTS. NO STREET TREES SHALL BE PLANTED WITHIN 35 FEET OF ANY STREET CORNER, MEASURED FROM THE POINT OF NEAREST INTERSECTING CURB LINES.
- C. ALL STREET TREES PLANTED SHALL BE OF MINIMUM SIZE OF 2" CALIPER. SAID CALIPER READING SHALL BE TAKEN 6" ABOVE THE GROUND SURFACE.
- D. THE SIZE FOR THE TREE INSTALLATION HOLE SHALL BE A MINIMUM OF 36" IN DIAMETER. TREES SHALL BE PLANTED WITH THE ROOT COLLAR AT SURFACE LEVEL. FOR BALLED TREES, THE HOLE SHALL BE 18" LARGER THAN THE LARGEST DIAMETER OF THE BALL AND NO DEEPER THAN THE BALL.
- E. SOIL FOR BACKFILLING AROUND ROOTS AND/OR ROOT BALLS SHALL BE THE EXISTING SOIL FROM THE EXCAVATION. WHERE EXISTING SOIL IS ROCKY AND POOR QUALITY, THE LOCAL BROWN TOPSOIL MAY BE USED. SOIL SHALL BE PULVERIZED AND SCREENED. ALL MATERIAL DUG FROM THE PLANT HOLES AND NOT USED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IMMEDIATELY AFTER PLANTING. SOIL AROUND ROOTS AND BALLS SHALL BE THOROUGHLY WATERED.
- F. AT THE TIME OF PLANTING, TREES SHALL BE PRUNED TO REMOVE DEAD, BROKEN, OR DISEASED BRANCHES OR CROSS BRANCHES THAT MAY RUB. AS MUCH OF THE CROWN AS POSSIBLE SHALL BE MAINTAINED TO CREATE FOOD FOR THE TREE. TREES SHALL APPEAR SYMMETRICAL IN SHAPE AND APPEARANCE.
- G. PERSONS INSTALLING STREET TREES SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE THE DAMAGE TO EXISTING LAWNS. ANY DAMAGE TO EXISTING LAWNS SHALL BE REPAIRED BY PLACING TOPSOIL AND SEED IN THE DAMAGED AREA.
- H. UPON COMPLETION OF PLANTING, INDIVIDUAL PLANT HOLES SHALL BE OUTLINED WITH A SHOULDER OF SOIL PLACED OUTSIDE OF RIM OF HOLES TO FORM A SAUCER. WOOD MULCH MATERIAL SHALL BE PLACED TO COVER DISTURBED AREA TO A MINIMUM DEPTH OF FOUR (4) INCHES, BUT THERE WILL BE AN AIR GAP 1" WIDE AROUND THE TRUNK WITH NO MULCH.
- I. STREET TREES SHALL BE STAKED WITHIN ONE WEEK OF PLANTING, UNLESS THE CITY FORESTER WAIVES THIS DUE TO SIZE OR SPECIES, WITH A MINIMUM OF TWO WOOD POSTS THAT HAVE A MINIMUM DIAMETER OF 2-1/2 INCHES. THE MINIMUM LENGTH OF THE POSTS SHALL BE THE DEPTH OF THE BORE PLUS ONE-HALF THE HEIGHT OF THE TREE. THE POSTS SHALL BE INSTALLED AT LEAST ONE FOOT OUTSIDE THE DIAMETER OF THE TREE-PLANTING HOLE. THE TREE SHALL BE CONNECTED TO THE POSTS WITH A 2" X 1/16" STRAP OF SUCH DESIGN SO AS NOT TO DAMAGE THE TREE. THE TREE SHALL BE PLANTED AS PLUMB AS POSSIBLE AND THE CONTRACTOR SHALL MAINTAIN TREE PLUMBNESS THROUGHOUT THE GUARANTEE PERIOD. ALL STAKES SHALL BE REMOVED WITHIN ONE YEAR OF PLANTING.
- J. STREET TREES PLANTED BETWEEN JUNE 15 AND SEPTEMBER 15 SHALL BE BALLED AND BURLAPED.
- K. ALL INSTALLATION MUST BE INSPECTED BY THE CITY FORESTER, OR A REPRESENTATIVE. IF, IN THE SOLE OPINION OF THE CITY FORESTER, ADDITIONAL REMEDIES ARE NEEDED TO ASSURE THE STOCKING AND MAINTENANCE OF HEALTHY TREE SPECIMENS, ADDITIONAL REMEDIES MAY BE REQUIRED.
- L. STREET TREES INSTALLED BY THE CITY UNDER THESE SPECIFICATIONS SHALL BE GUARANTEED FOR ONE (1) GROWING SEASON. REPLACEMENT TREES UNDER THIS SECTION SHALL ALSO BE GUARANTEED FOR ONE (1) GROWING SEASON. REPLACEMENT OF TREES BEYOND THIS TWO (2) YEAR PERIOD SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**PARKING LOT LANDSCAPING**

- 1) AMOUNT REQUIRED. IN PARKING LOTS, AT LEAST FIVE PERCENT (5%) OF THE INTERIOR PARKING AREA SHALL BE LANDSCAPED.
- 2) LOCATION. THE LANDSCAPING SHOULD BE LOCATED IN PROTECTED AREAS, SUCH AS ALONG WALKWAYS, IN RAISED CENTER ISLANDS PROTECTED BY CURB AND GUTTER, AT THE ENDS OF BAYS PROTECTED BY CURB AND GUTTER, OR BETWEEN PARKING STALLS. ALL LANDSCAPING IN PARKING AREAS AND ON THE STREET FRONTAGE SHALL BE PLACED SO THAT IT WILL NOT OBSTRUCT SIGHT DISTANCE.
- 3) AREAS BETWEEN TREES SHALL BE MULCHED OR PLANTED WITH SHRUBS OR GROUND COVER. ANY LANDSCAPED AREA THAT WILL BE UNDER THE OVERHANG OF VEHICLES SHALL BE MULCHED OR COVERED WITH DECORATIVE PAVING MATERIAL.

**PARKING LOT LANDSCAPE**

LANDSCAPE AREA 5% OF INTERIOR PARKING AREA SHOULD BE LANDSCAPED	
43,089.5 SQ FT	PARKING AREA
2,154.5 SQ FT	REQUIRED LANDSCAPING AREA
2,265.0 SQ FT	PROVIDED LANDSCAPING AREA

PLANT SCHEDULE	TREES	QTY	BOTANICAL / COMMON NAME	CONT
		4	GLEDITSIA TRIACANTHOS 'INERMIS 'HARVE' / NORTHERN ACCLAIM HONEY LOCUST	2' CAL B&B
		6	GYMNOCADUS DIOICA / KENTUCKY COFFEETREE	2' CAL B&B
		9	PICEA PUNGENS GLAUCA 'FAT ALBERT' / FAT ALBERT COLORADO BLUE SPRUCE	2' CAL B&B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	
	6	AMELANCHIER ALNIFOLIA / SERVICEBERRY	5 GAL	
	35	ARONIA MELANOCARPA 'AUTUMN MAGIC' / AUTUMN MAGIC BLACK CHOKEBERRY	2 GAL	
	8	CORNUS SERICEA / RED TWIG DOGWOOD	2 GAL	
	10	NEPETA X 'WALKER'S LOW' / WALKER'S LOW CATMINT	2 GAL	
	10	PHYSOCARPUS OPULIFOLIUS 'MONLO' / DIABOLO NINEBARK	2 GAL	
	12	VIBURNUM DILATATUM / LINDEN VIBURNUM	2 GAL	

NOTE- PLANTING BEDS SHALL HAVE A MULCHED BED THAT EXTENDS 3' IN PERIMETER AROUND THE IDENTIFIED PLANTINGS. INSTALL 6" OF TOPSOIL AND COVER WITH FILTER FABRIC BELOW 4" OF MULCH.

## **PLANNING REPORT**

TO: Dundas City Council  
Dundas Planning Commission  
Jenelle Teppen, City Administrator

FROM: Nate Sparks, City Planner

DATE: August 25, 2023

RE: Comprehensive Plan & Zoning Updates – Commercial Uses

### **BACKGROUND**

Recently, the City adopted some new ordinance language related to the Comprehensive Plan. When reviewing these changes, the City Attorney had some recommendations.

One such recommendation was to split the Highway Commercial land use designation into two. One for properties adjacent to the Highway and one for properties a tier off. The properties in the second tier could be utilized for more expansive uses than just the retail commercial / auto service type uses found typically in this corridor.

Then the City could create a zoning district that more explicitly allows for uses such as commercial recreation (like the Dundas Dome) and churches (like Canvas Church next to the theater). The current code language for these types of uses is in need of amendment.

### **PROPOSED AMENDMENTS**

The following changes are proposed:

#### *Comp Plan*

Being added to the comp plan is a new land use designation that is the General Business designation. This is intended to be for a wider array of uses than the retail based Highway Commercial land use.

#### *Zoning Definitions*

The code lacks a definition of indoor commercial recreation and utilizes an out of date definition for places of worship.

#### *Conditional Uses*

The ordinance then states that Places of Worship are permitted within the R-2 (where one currently exists), R-4, and B-3 (where one currently exists) Districts as a CUP.

#### *Lot Width/Area*

There was no requirement for lot width or area in the B-2 District. This has been added.

#### *B-3 District*

A new B-3, General Business District has been added. This allows for a mix of commercial, assembly, and institutional uses, as opposed to the B-2 District which is more geared for retail commercial uses. It is then placed on the map in the same location as the General Business Land Use Designation (one tier off of Highway 3).

**RECOMMENDATION**

Staff would recommend approval of the above amendments after an informative discussion.

**CITY OF DUNDAS  
COUNTY OF RICE  
STATE OF MINNESOTA**

**RESOLUTION 2023-\_\_**

**RESOLUTION APPROVING A COMPREHENSIVE PLAN AMENDMENT TO  
INCLUDE THE GENERAL BUSINESS LAND USE DESIGNATION**

**WHEREAS**, the City of Dundas recently reviewed the Comprehensive Plan in relation to commercial land uses; and

**WHEREAS**, the City is seeking to amend the Comprehensive Plan to include a General Business Land Use designation within the text of the document and on the map; and

**WHEREAS**, the Planning Commission held a duly-noticed public hearing on August 28, 2023; and

**WHEREAS**, Chapter 6 of the Comprehensive Plan is amended to include the following text under the Commercial Land Use heading:

General Commercial

This designation is intended to provide for a mix of general commercial, office, assembly, commercial recreation, educational, and other such uses. These uses may not dependent upon highway frontage to the extent of the uses found within the Highway Commercial designation. The development style in this designation is intended to be similar to that of the Highway Commercial land use but will allow for a wider range of uses. Site design and parking provision will need to be accounted for within this designation. Non-retail uses may be permitted provided they are similar in nature to the uses listed above.

**WHEREAS**, the future land use map found within Chapter 6 is amended as found in the map attached as Exhibit A; and

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Dundas amends the Comprehensive Plan as identified herein and directs Staff to update the document.

**ADOPTED by the Dundas City Council this 28th day of August 2023.**

**City of Dundas**

By: \_\_\_\_\_  
Glenn Switzer, Mayor

Attest:

By: \_\_\_\_\_  
Jenelle Teppen, City Administrator/Clerk

Attached:  
Exhibit A – Land Use Map

**ORDINANCE 2023 – 07**

**CITY OF DUNDAS  
COUNTY OF RICE  
STATE OF MINNESOTA**

*An Ordinance Amending Chapter 154 Related to the Adoption of the B-3, General Business District and Modifications to Non-retail Uses in the B-2 District*

**THE CITY COUNCIL OF THE CITY OF DUNDAS DOES ORDAIN:**

**SECTION 1.** Section 154.008 is hereby amended to delete the definition of Religious Institution and add the following definitions:

**COMMERCIAL RECREATION - INDOOR.** A bowling alley, car track, jump center, golf, pool hall, vehicle racing or amusement, dance hall, skating, trampoline, fire arms range, amusement ride, and similar uses whose activities occur inside a building.

**PLACE OF WORSHIP.** A building, together with its accessory buildings and uses, where persons assemble at regular intervals for religious worship and which building, together with its accessory buildings and uses, is maintained and controlled by a religious body organized to sustain public worship, including, but not limited to, churches, chapels, temples, mosques, and synagogues. Examples of accessory uses for a place of worship include, but are not limited to, classrooms for religious instruction, kitchens, banquet and meeting rooms, and offices in support of the worship use. Examples of auxiliary uses which are not considered a place of worship: coffee shops, day cares, restaurants, outdoor sports or recreational complexes, retreat homes, publishing establishments, schools, hospitals, and chemical dependency treatment centers.

**SECTION 2.** Section 154.089 (D) (2) is hereby amended to read as follows:

(2) Conditional uses in this district include: none

**SECTION 3.** Section 154.090 (D) (2) is hereby amended to read as follows:

(2) Conditional uses in this district include:

- (a) Places of Worship, conditioned on access being provided only off of a collector road;  
and
- (b) Bed and breakfast facilities.

**SECTION 4.** Section 154.090 (D) (2) is hereby amended to read as follows:

(2) Conditional uses in this district include:

- (a) Manufactured Home Parks subject to the performance standards of this District.

**SECTION 5.** Section 154.091 (D) (2) is hereby amended to read as follows:

(2) Conditional uses in this district include:

- (a) Public or semi-public recreational or community buildings
- (b) Places of Worship, conditioned on access being provided only off of a collector road
- (a) Manufactured home parks subject to the performance standards of the R-3 District
- (b) Nursing homes/assisted living facilities
- (c) Chemical dependency treatment centers
- (d) Public or private schools

**SECTION 6.** Section 154.095 (B) (5) is hereby deleted.

**SECTION 7.** Section 154.095 (B) (15) is hereby amended to read as follows:

(15) Public/Government Offices

**SECTION 8.** Section 154.097 (B) is hereby amended to read as follows:

(B) Permitted uses. Permitted uses in the B-2 District include:

- (1) Day care center
- (2) Retail centers and commercial office buildings. Development of individual and/or groups of buildings that are 80,000 square feet (individually and cumulatively) and larger require zoning as PUD. Expansions of existing buildings over 80,000 square feet or expansions resulting in buildings that are 80,000 square feet (individually and cumulatively) also require zoning as a PUD. The projects will be evaluated based on the design guidelines in §§ 154.115 through 154.128 of this chapter;
- (3) All permitted uses allowed in the B-1A District; and

**SECTION 9.** Section 154.097 (D) (2) (c) is hereby deleted.

**SECTION 10.** Section 154.097 (E) is hereby amended to read as follows:

(E) Performance standards. The following minimum requirements shall be observed in the B-2 District:

- (1) Lot area: 15,000 square feet;
- (2) Lot width: 75 feet;
- (3) Setbacks:
  - (a) Front yards: not less than 25 feet. In the case of corner lots, two front yards will be required.
  - (b) Side yards: not less than ten feet on each side, except where there is a permissible zero lot line setback pursuant to division (D)(2)(a) above or 25 feet when abutting a public right-of-way or a residential district; and
  - (c) Rear yards: not less than 25 feet.
- (4) Impervious surface maximum: 65%

**SECTION 11.** Section 154.098 is hereby amended to read as follows with the existing sections 154.098 through 154.104 being renumbered to 154.099 to 154.105:

§ 154.098 B-3, GENERAL COMMERCIAL DISTRICT.

(A) Purpose. The B-3, General Commercial District is intended to provide for the development of general business, assembly, office, and similar uses. The District is located on the periphery of the retail commercial oriented areas.

(B) Permitted uses. Permitted uses in the B-3 District include:

- (1) Adult education/vocational schools
- (2) Banquet halls/conference centers
- (3) Club or lodge
- (4) Commercial recreation – indoor
- (5) Day care center
- (5) Funeral home
- (6) Library
- (7) Theater
- (8) Retail centers and commercial office buildings. Development of individual and/or groups of buildings that are 80,000 square feet (individually and cumulatively) and larger require zoning as PUD. Expansions of existing buildings over 80,000 square feet or expansions resulting in buildings that are 80,000 square feet (individually and cumulatively) also require zoning as a PUD. The projects will be evaluated based on the design guidelines in §§ 154.115 through 154.128 of this chapter;
- (9) All permitted uses allowed in the B-1A District.

(C) Accessory uses. Permitted accessory uses in the B-2 District are those commercial or business buildings and structures accessory to the principal use. The accessory uses shall not exceed 30% of the gross floor space of the principal use.

(D) Conditional uses.

- (1) Conditional uses in this district are subject to the following requirements:
  - (a) A conditional use permit is applied for based on procedures set forth in § 154.022 of this chapter;
  - (b) Screening and landscaping in compliance with § 154.071 of this chapter shall be required; and
  - (c) Off-street parking is provided in compliance with § 154.067 of this chapter.
- (2) Conditional uses in this district include:
  - (a) Commercial developments undertaken by two or more property owners in which the extension of an existing structure is proposed, a new structure is proposed, or a structure spans more than one lot. Side yards shall not be required (a zero lot line setback) in these cases unless the side yard abuts residentially zoned property or a public road. Side yard requirements specified below shall apply in these areas;
  - (b) Accessory adult uses as defined in Ch. 117 of this code; and

- (c) Places of Worship, conditioned on access being provided only off of a collector road
- (d) Motor Fuel Station
- (e) Auto Sales
- (f) Car Wash
- (g) Auto Repair Facility – Minor
- (h) Public or private school

(E) Performance standards. The following minimum requirements shall be observed in the B-2 District:

- (1) Lot area: 15,000 square feet;
- (2) Lot width: 75 feet;
- (3) Setbacks:
  - (a) Front yards: not less than 25 feet. In the case of corner lots, two front yards will be required.
  - (b) Side yards: not less than ten feet on each side, except where there is a permissible zero lot line setback pursuant to division (D)(2)(a) above or 25 feet when abutting a public right-of-way or a residential district; and
  - (c) Rear yards: not less than 25 feet.
- (4) Impervious surface maximum: 65%

(F) Interim uses. The following are interim uses in a B-2 District and require an interim use permit based upon procedures set forth in and regulated by § 154.026 of this chapter: none.

**SECTION 12.** Section 154.086 is hereby amended to incorporate the amended zoning map as attached hereto.

**BE IT FURTHER ORDAINED BY THE CITY COUNCIL FOR THE CITY OF DUNDAS:**

1. This Ordinance shall become effective immediately upon its passage and publication in accordance with law.

**APPROVED** by the City Council, of Dundas, Minnesota, on this 28<sup>th</sup> day of August 2023.

CITY OF DUNDAS BY:

ATTESTED:

\_\_\_\_\_  
Glenn Switzer, Mayor

\_\_\_\_\_  
Jenelle Teppen, City Administrator/Clerk

Ordinance 2023-07

\_\_\_\_\_ Switzer \_\_\_\_\_ Modory \_\_\_\_\_ La Croix \_\_\_\_\_ Swartwood \_\_\_\_\_ Gallagher

Publication in *Faribault Daily News* on: August \_\_, 2023

**SUMMARY OF  
ORDINANCE 2023-07**

**CITY OF DUNDAS  
STATE OF MINNESOTA**

*An Ordinance Amending Chapter 154 Related to the Adoption of the B-3, General Business District and Modifications to Non-retail Uses in the B-2 District*

**The following is the official summary of Ordinance 2023-07, which was approved and adopted by the Dundas City Council on August 28, 2023:**

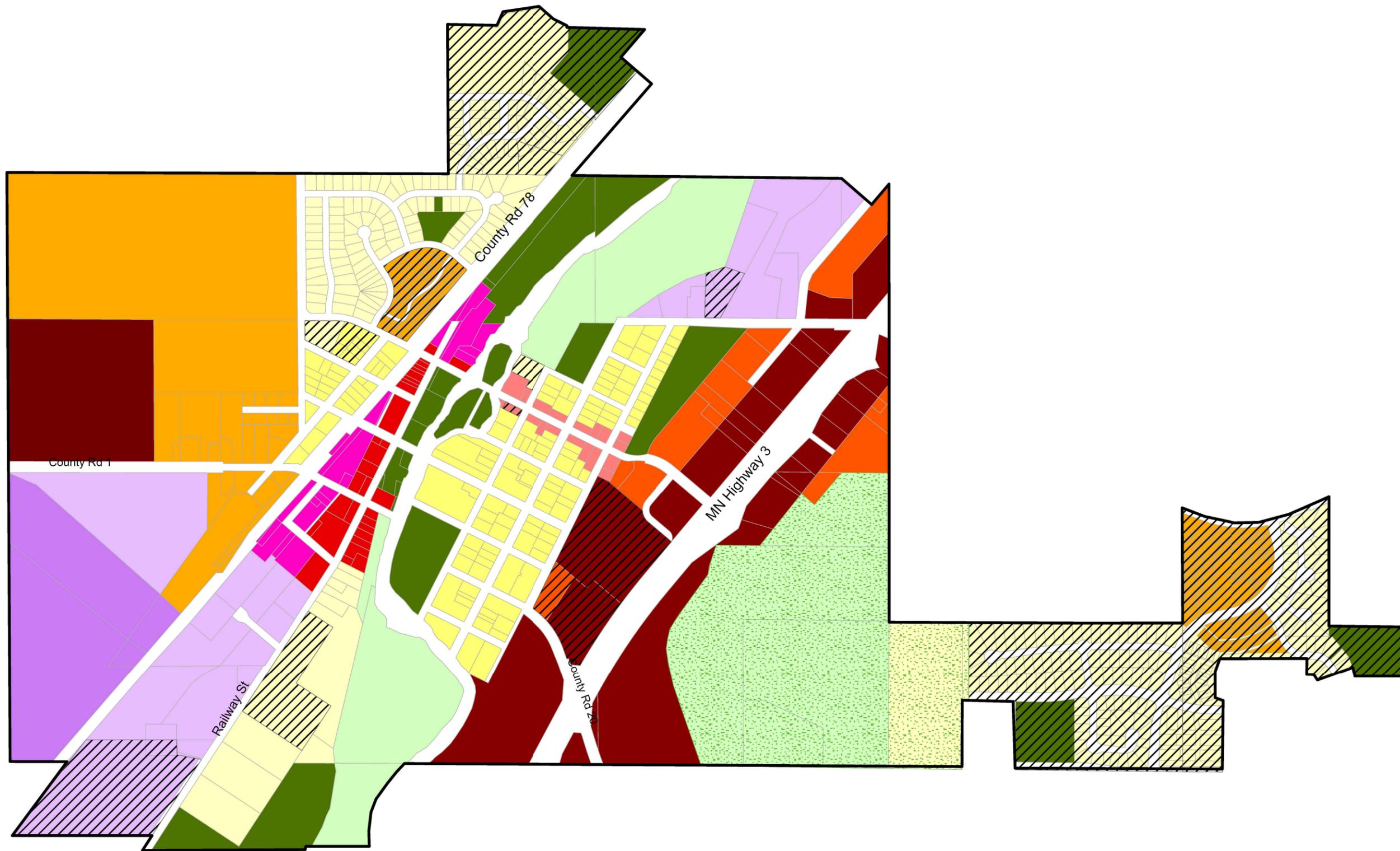
Chapter 154, the City of Dundas Zoning Ordinance, is hereby amended to include the B-3 District which allows for additional non-retail commercial type uses and modifications to the B-2 District to remove the same uses. The amendment includes a map update.

A copy of the entire Ordinance 2023-07 is available for inspection by any person during regular office hours at the Dundas City Hall, 100 Railway Street North, Dundas, Minnesota 55019; and is posted at the Dundas City website: [www.cityofdundas.org](http://www.cityofdundas.org).

ADOPTED BY THE DUNDAS CITY COUNCIL on the 28<sup>th</sup> day of August 2023.

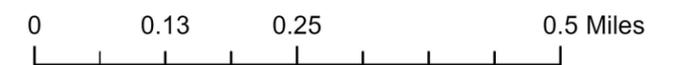
Published by order:

Jenelle Teppen, City Administrator/Clerk  
in the *Faribault News* on \_\_\_\_\_, 2023



CITY OF  
**DUNDAS**  
**Zoning Map**

R-1 Single Family Residential	B-1A Downtown Core Buisness	L-I Limited Industrial
R-2 Traditional Residential	B-1B Downtown Mixed Use	G-I General Industrial
R-3 Multifamily Residential	HSD Hester Street District	P-OS Public-Open Space
R-4 High Density Residential	B-2 Highway Commercial District	Bluff Protection District
NRSF Natural Resource SF Residential	B-3 General Buisness	PUD
		Boundary



Source: Rice County, MNDOT,  
 Northwest Associated Consultants

Map Updated: 08/17/23

